

MARKET HOUSE

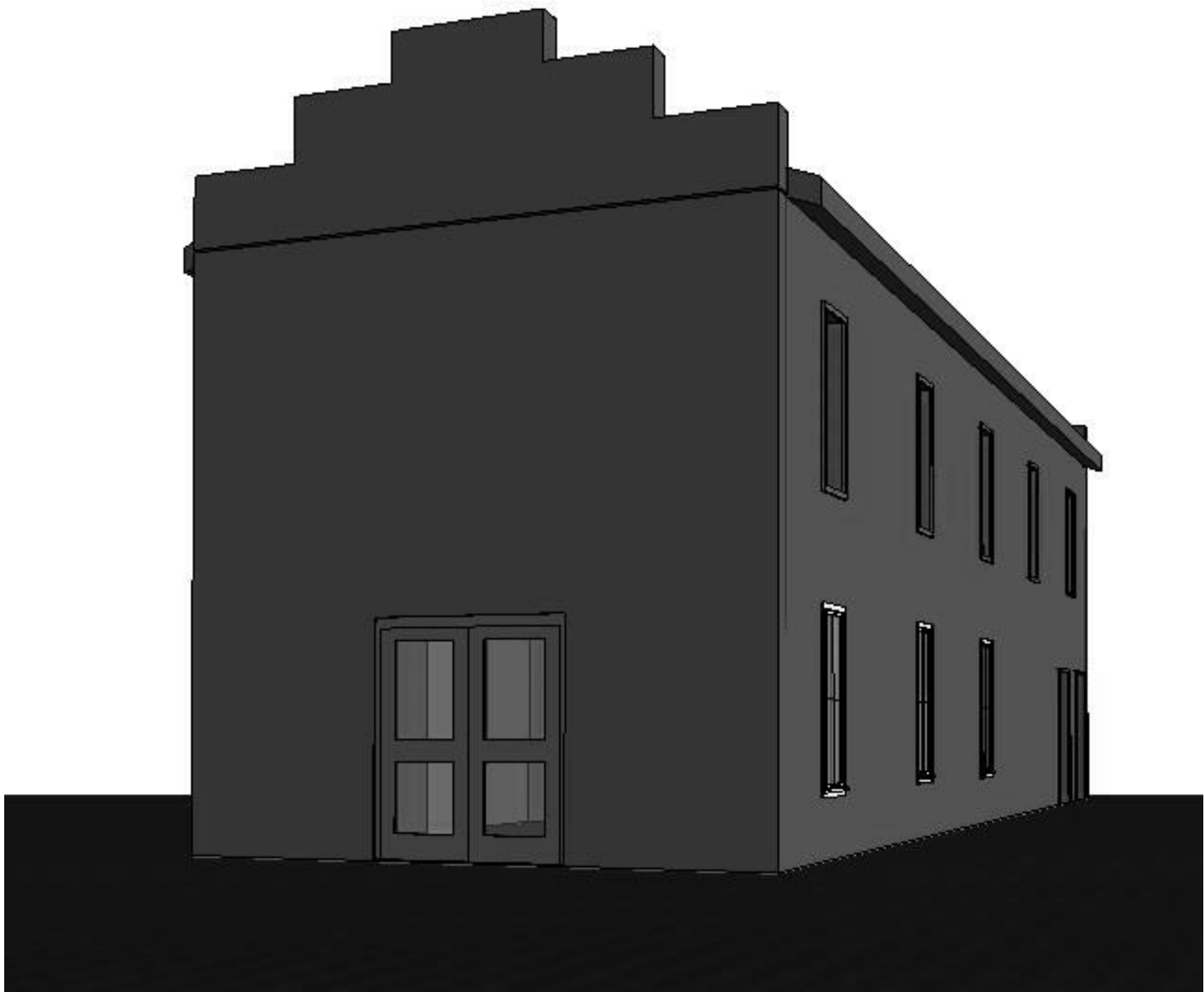
CONSULTANTS:

STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL:

NAME
 ADDRESS
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SITE/CIVIL:

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PROJECT:
MARKET HOUSE
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
COVER SHEET



SITE

LOCATION PLAN



SITE

VICINITY MAP

NOTE: SEE LS SHEETS FOR CODE DATA AND LIFE SAFETY INFORMATION

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
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Drawn by	Author
Checked by	Checker

CS

Scale
 SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL COMMERCIAL NOTES

- ALL WORK SHALL COMPLY WITH:
THE CURRENT ED. ICC/IBC 2018 BUILDING CODE
THE CURRENT ED. IEBC 2018 BUILDING CODE
THE CURRENT ED. 2018 IPC / IMC PLUMBING AND MECHANICAL CODE
THE CURRENT ED. 2020 NATIONAL ELECTRIC CODE, NFPA 70
THE CURRENT ED. 2021 NFPA 101
THE CURRENT ED. 2017 ANSI A117.1
THE CURRENT ED. 2013 ASHRAE 90.1
ALL OTHER APPLICABLE RULES AND REGULATIONS
- THE ARCHITECT SHOULD NOT HAVE CONTROL OR BE IN CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- COMMENCEMENT OF THE WORK INDICATES THAT THE CONTRACTOR IS FAMILIAR WITH THESE DOCUMENTS AND AGREES TO ALL THE TERMS CONTAINED HEREIN.
- WRITTEN SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
- DO NOT SCALE DRAWINGS, WHERE MISSING OR CONFLICTING DIMENSIONS OCCUR, CONTRACTOR SHALL CONTACT ARCHITECT WITHOUT DELAY FOR CLARIFICATION.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS, DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- UNLESS OTHERWISE INDICATED IN THESE SPECIFICATIONS, THE CONTRACTOR, ALL SUB-CONTRACTORS AND SUPPLIERS SHALL PROVIDE GUARANTEES BASED ON INDUSTRY RECOGNIZED STANDARDS FOR THEIR PRODUCTS AND SERVICES. IN NO CASE SHALL THESE GUARANTEES REMAIN IN EFFECT FOR LESS THAN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- IT IS INTENDED THAT ALL WORK BE OF FIRST QUALITY, AND ACCOMPLISHED IN A WORKMANLIKE MANNER BY SKILLED CRAFTSMEN USING ACCEPTED PRACTICES AND METHODS APPROPRIATE TO THE TRADES INVOLVED.
- SUB-CONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THIS OPERATION. UPON THE COMPLETION OF THE WORK, HE SHALL REMOVE ALL HIS WASTE MATERIALS FROM ABOUT THE PROJECT AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS.
- SUB-CONTRACTORS SHALL PROVIDE THE GENERAL CONTRACTORS WITH SUCH PLANS AND INFORMATION AS MAY BE REQUIRED FOR THIS ISSUANCE OF ACCEPTANCE CERTIFICATES.

EXCAVATION

- EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTINGS SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY)
- EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

- PROVIDE 1/2" DIA STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.
- PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
- SLOPE GRADE AWAY FROM FOUNDATION WALL 6" MIN. WITHIN THE FIRST 10 FEET.
- PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS, AND ANY LUMBER IN CONTACT WITH MASONRY.
- PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

BASEMENT (IF APPLICABLE)

- ALL GIRDER JOINTS SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY.
- DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

FRAMING

- ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.
- ALL LOAD BEARING WALL SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.
- DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS:
GRADE: 2950FB-2.0E
BENDING FB: 2950
MOE: 2.0 X 10 ^ 6
SHEAR FV: 290
- PROVIDE FOAM SILL SEAL BETWEEN FOUNDATION WALL AND PRESSURE TREATED WALL SILL PLATE.

INSULATION & MOISTURE PROTECTION

- PROVIDE 30 LB. BUILDING FELT OR PAPER AT MASONRY VENEER WITH FLASHING AT OPENINGS TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- PROVIDE MINIMUM ONE LAYER OF 30 LB. SYNTHETIC ROOFING UNDERLAYMENT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
- PROVIDE INSULATION AS FOLLOWS AS A MINIMUM

COMPONENT	CLIMATE ZONE 4A:
ROOF/ATTIC AREAS:	R-38, FIBERGLASS BATT OR BLOWN
EXTERIOR WOOD FRAME WALLS:	R-20, KRAFT-FACED, FIBERGLASS BATT OR (R-13+R-3.8ci)
MASS WALL:	R-9.5ci
FLOOR (JOIST/FRAMING):	R-30
BASEMENT EXTERIOR WALLS:	R-7.5ci
SLAB	R-10 (2 FT PERIMETER)
WINDOW/GLASS:	U-FACTOR < 0.38 (FIXED) <0.45 (OPERABLE)
SKYLIGHTS	U-FACTOR < 0.55
OPAQUE DOORS (SWINGING):	U-FACTOR < 0.61

- THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOWS AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION, SIMILAR FLASHINGS SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, WOOD OR METAL COPINGS AND SILLS.

- THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFIT AT THE ROOF EAVES AND CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

STAIRS, HANDRAILS, AND GUARDS

- STAIRS SHALL COMPLY WITH SECTION R311.5 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT; 31.5 INCHES WHERE A HANDRAIL IS INSTALL ON ONE SIDE; 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 ABOVE TREAD NOSING.
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES.
- MAXIMUM STAIR RISER HEIGHT SHALL BE 7 INCHES AND A MINIMUM TREAD DEPTH SHALL BE 11 INCHES. (UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS)
- PORCHES, BALCONIES, RAMPS, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. BALCONIES OVER 8' ABOVE GRADE SHALL HAVE GUARDS AT 42" IN HEIGHT.
- REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

EMERGENCY EGRESS REQUIREMENTS

- IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDING TO VERIFY CONFORMITY WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY THE WINDOW MANUFACTURER.

DESIGN LOADS

- THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWING AND INDICATED IN THE GENERAL NOTES.
- THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LOAD (U.O.N.)	LL=40 PSF / DL=10 PSF
SLEEPING RMS / ATTIC WITH FIXED STAIR	LL=30 PSF / DL=10 PSF
GARAGE FLOOR	LL=50 PSF / 2000# POINT
ROOF LIVE LOAD	MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD	LL=20 PSF (LIMITED STORAGE) LL=10 PSF (NO STORAGE)
- ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD (PG)=	30 PSF
FLAT ROOF SNOW LOAD (PF)=	21 PSF
EXPOSURE FACTOR (CE)=	1
IMPORTANCE FACTOR (I)=	1
- WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED=	90 MPH
WIND EXPOSURE=	B
IMPORTANCE FACTOR (I)=	1

MISCELLANEOUS

- PROVIDED APPROVED VAPOR BARRIER ON WARM SIDE OF HEATED SPACE WHEN INSULATING FLOOR, WALLS, AND CEILING.
- LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.
- SUBJECT TO DAMAGE FROM:

WEATHERING	SEVERE
FROST LINE DEPTH	36"
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE
- TEMPERATURE:

WINTER DESIGN TEMPERATURE	13° F
ICE SHIELD UNDERLAYMENT REQUIRED	YES
AIR FREEZING INDEX	300
MEAN ANNUAL TEMPERATURE	55° F
- THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.



WHEELING, WV 53 14TH ST, S 607
MORGANTOWN, WV 88 HIGH STREET
SHEPHERDSTOWN, WV 122 E GERMAN STREET
ELKINS, WV 102 THIRD STREET

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PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

COMMERCIAL NOTES

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

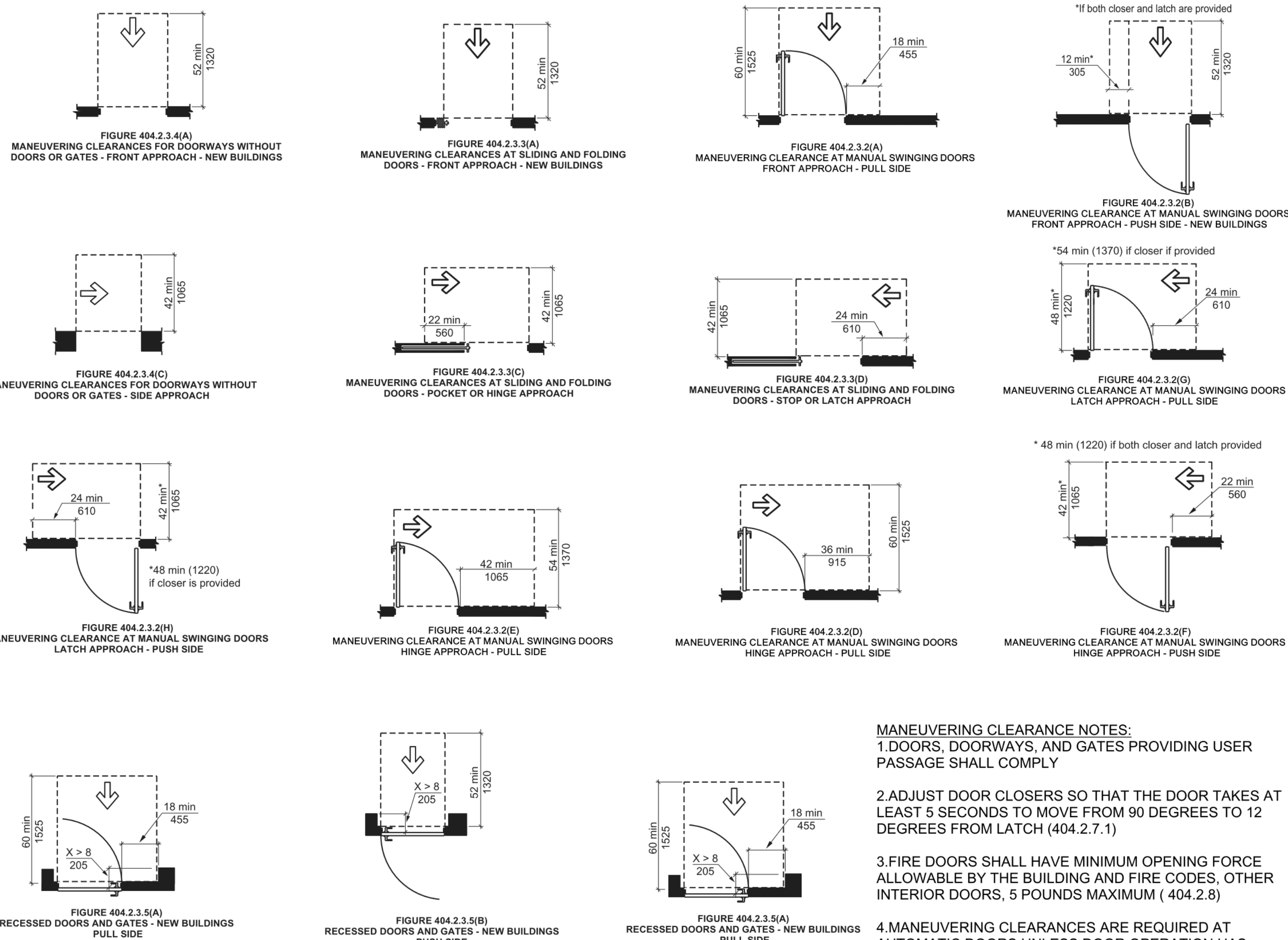
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Project number	23-061
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Checked by	Checker

G002

Scale 12" = 1'-0"

SCALE REFERS TO 24" X 36" PAPER SIZE

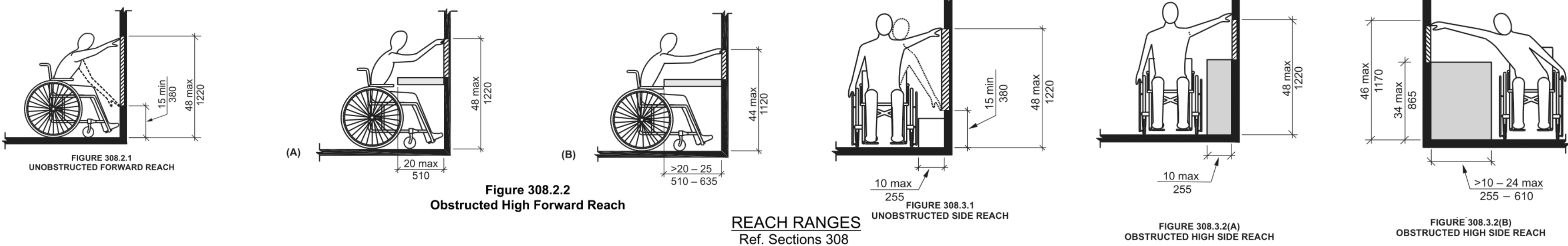


MANEUVERING CLEARANCE NOTES:

- DOORS, DOORWAYS, AND GATES PROVIDING USER PASSAGE SHALL COMPLY
- ADJUST DOOR CLOSERS SO THAT THE DOOR TAKES AT LEAST 5 SECONDS TO MOVE FROM 90 DEGREES TO 12 DEGREES FROM LATCH (404.2.7.1)
- FIRE DOORS SHALL HAVE MINIMUM OPENING FORCE ALLOWABLE BY THE BUILDING AND FIRE CODES, OTHER INTERIOR DOORS, 5 POUNDS MAXIMUM (404.2.8)
- MANEUVERING CLEARANCES ARE REQUIRED AT AUTOMATIC DOORS UNLESS DOOR OPERATION HAS STANDBY POWER, REMAIN OPEN IN THE POWER OFF CONDITION, OR INCLUDES A BREAKAWAY FEATURE. (404.3.4)

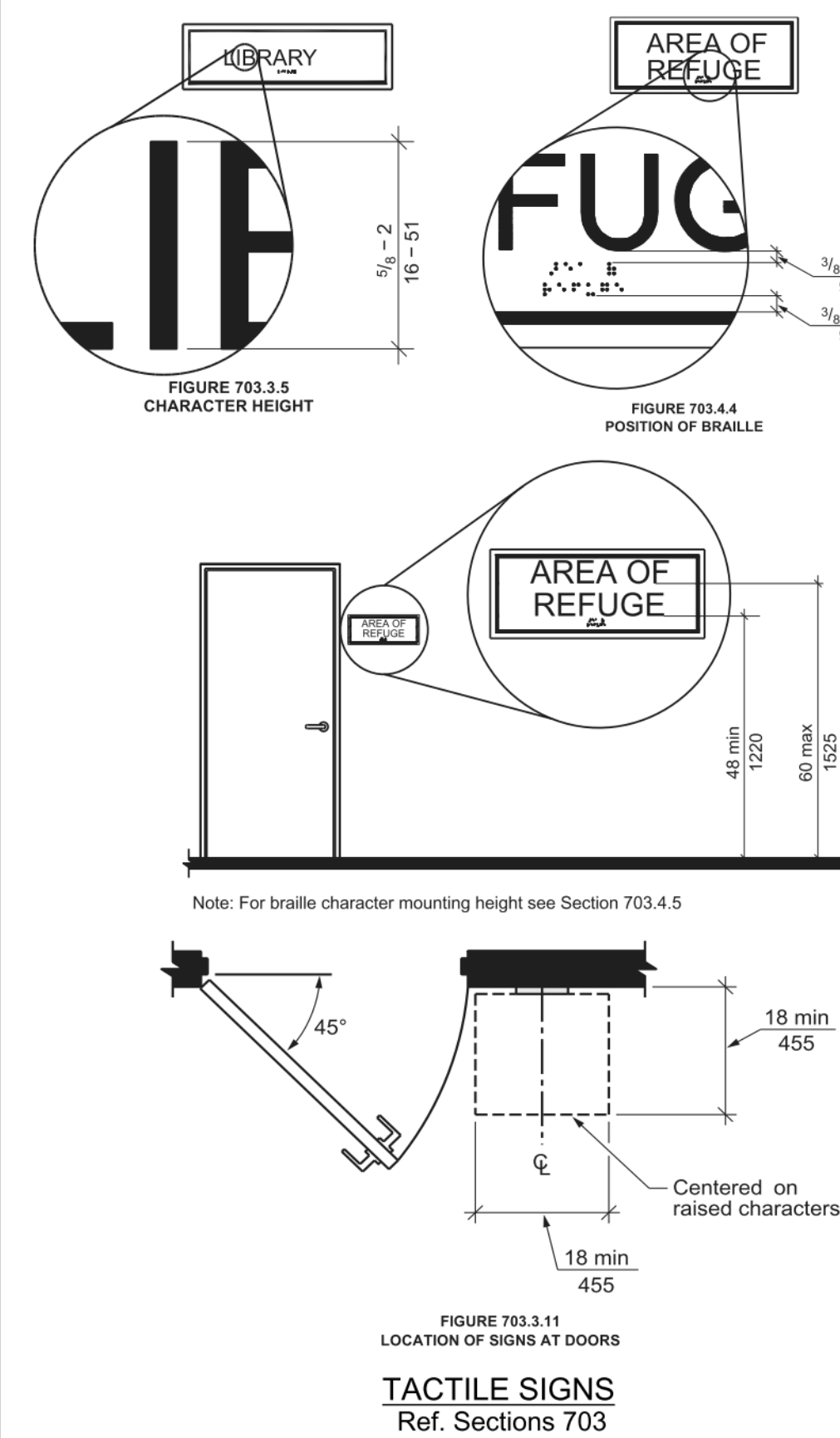
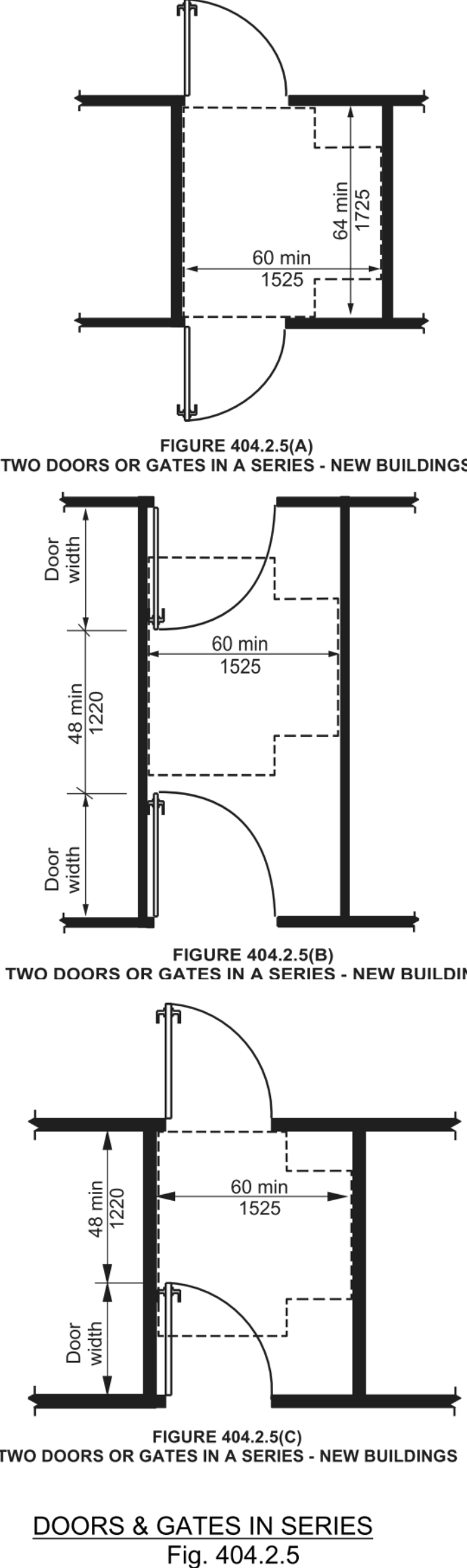
MANEUVERING CLEARANCES
Ref. Sections 404.2.3

NOTE:
ANY OPERABLE PART OF ANY DEVICE SHALL BE INSTALLED WITHIN THE REACHES SHOWN



ACCESSIBLE GUIDELINES

THIS DRAWING IS A REPRESENTATIVE SUMMARY OF THE REQUIREMENTS OF THE ICC A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES THAT MAY BE APPLICABLE TO THE PROJECT. WHERE SPECIFIC DIMENSIONAL INFORMATION AND CLEARANCES ARE NOT NOTED ON THE DRAWINGS, CONSTRUCT TO THE CLEARANCES AND TOLERANCES SHOWN ON THIS SHEET. WHERE DRAWINGS SPECIFICALLY INDICATE DIFFERENT OR CONFLICTING INFORMATION TO THE STANDARDS DERIVED ON THIS SHEET, CONSTRUCT USING THE MORE STRINGENT REQUIREMENT OR CONTACT THE ARCHITECT FOR RESOLUTION.

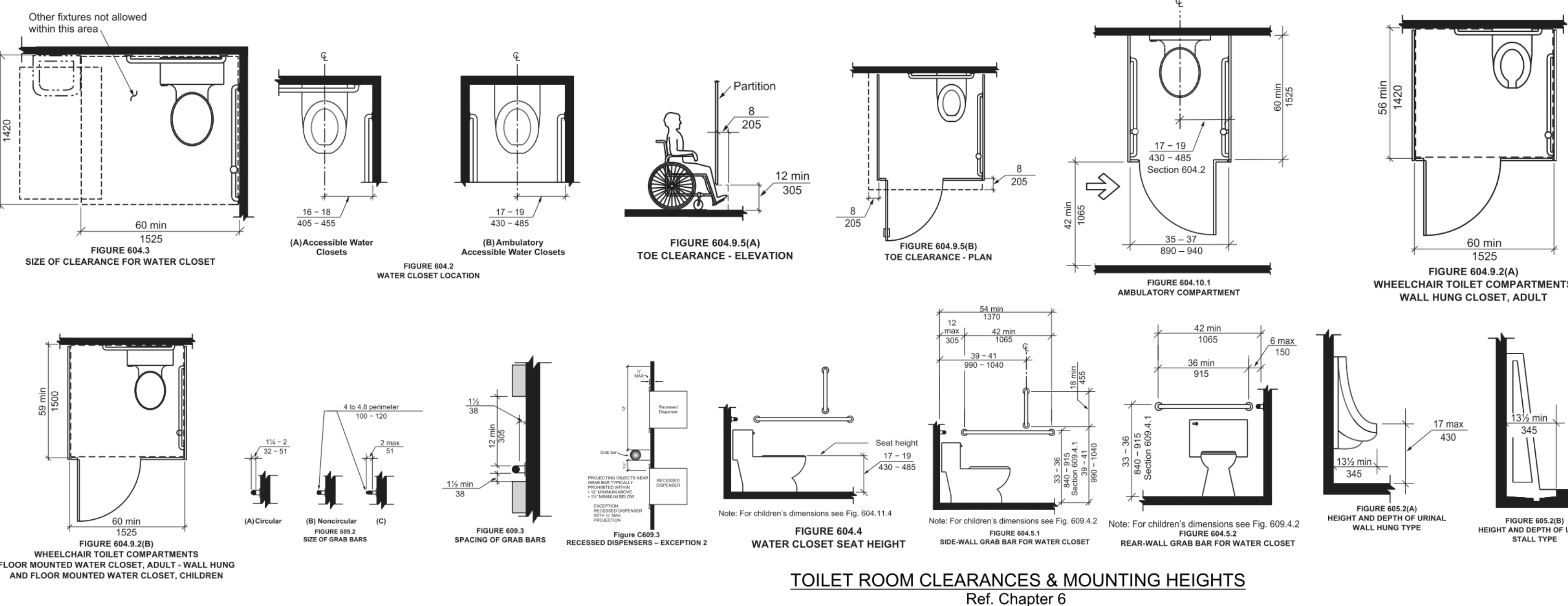


TACTILE SIGN NOTES:

- RAISED CHARACTERS SHALL COMPLY WITH 703.3 AND SHALL BE DUPLICATED IN BRAILLE COMPLYING WITH 703.4. RAISED CHARACTERS SHALL BE INSTALLED IN ACCORDANCE WITH 703.4.5
- BRAILLE SHALL BE CONTRACTED (GRADE 2) AND SHALL COMPLY WITH 703.4
- BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT. IF TEXT IS MULTI-LINED BRAILLE SHALL BE PLACES BELOW THE ENTIRE TEXT. (703.4.4)
- PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6" MINIMUM. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD.(703.5.2)
- PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD. (703.5.3)

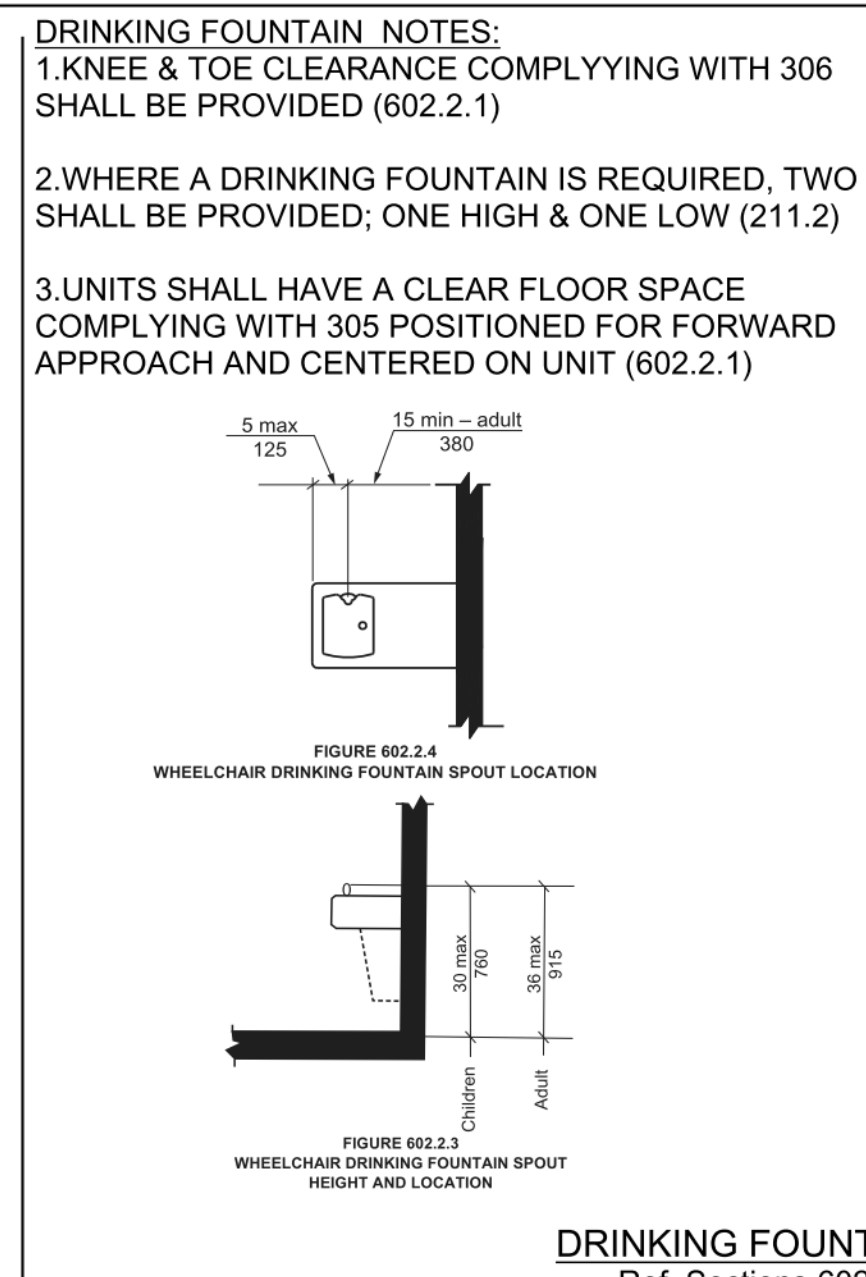
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PROJECT:
MARKET HOUSE
100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
ADA STANDARDS



TOILET ROOM NOTES:

- A TURNING SPACE PER SECTION 304 IS REQUIRED WITHIN A TOILET ROOM (603.2.1)
- ONLY THE FOLLOWING OBJECT ARE PERMITTED TO OVERLAP THE REQUIRED CLEARANCE: GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNIT, COAT HOOKS, AND SHELVES (604.3.3)
- FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET (604.6)
- URINALS SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR FORWARD APPROACH (605.3)
- LAVATORIES SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305.3 POSITIONED FOR FORWARD APPROACH. (606.2)
- EXPOSED WATER SUPPLY AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS (606.6)
- INSTALL GRAB BARS TO WITHSTAND NOT LESS THAN A 250 POUND FORCE APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE(609.8)



DRINKING FOUNTAIN NOTES:

- KNEE & TOE CLEARANCE COMPLYING WITH 306 SHALL BE PROVIDED (602.2.1)
- WHERE A DRINKING FOUNTAIN IS REQUIRED, TWO SHALL BE PROVIDED; ONE HIGH & ONE LOW (211.2)
- UNITS SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR FORWARD APPROACH AND CENTERED ON UNIT (602.2.1)

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

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Checked by: Checker

G020

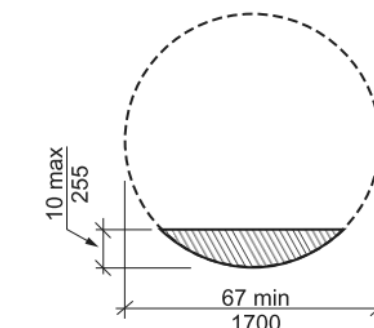
Scale
SCALE REFERS TO 24" X 36" PAPER SIZE

CLEAR FLOOR SPACE NOTES:

1. DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES (304.4)

2. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER CLEAR FLOOR SPACE (305.6)

3. A CLEAR FLOOR SPACE IS REQUIRED AT ANY DEVICE WITH AN OPERABLE PART (309.2)



Overlap of knees and toe clearance
FIGURE 304.3.1.1
CIRCULAR TURNING SPACE - NEW BUILDINGS
SIZE AND OVERLAP

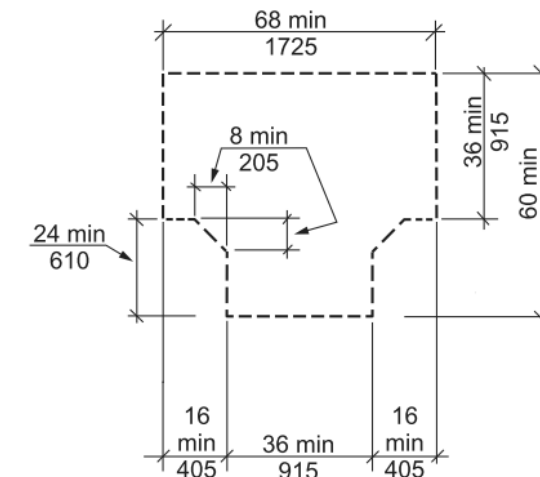


FIGURE 304.3.2.1(A)
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 1

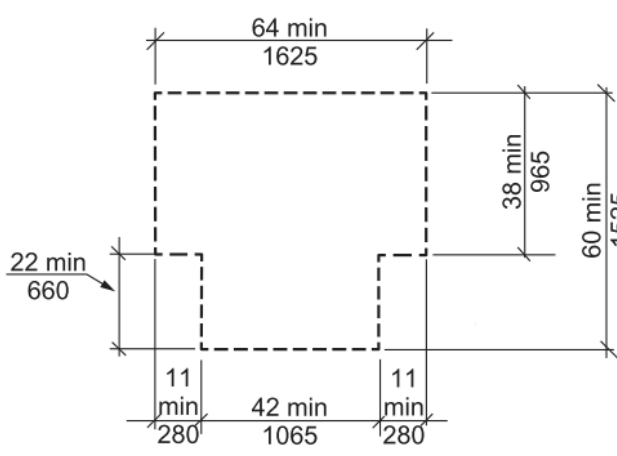


FIGURE 304.3.2.1(B)
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 2

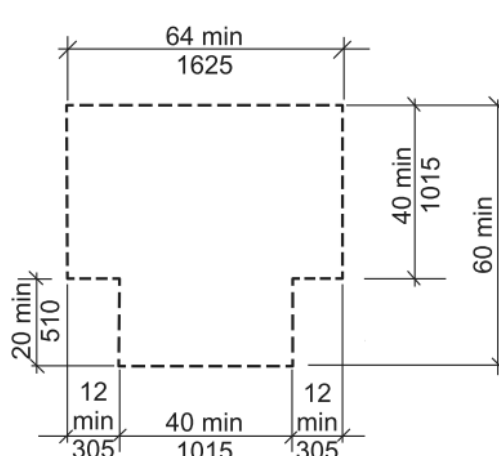


FIGURE 304.3.2.1(C)
T-SHAPED TURNING SPACE
NEW BUILDINGS - OPTION 3

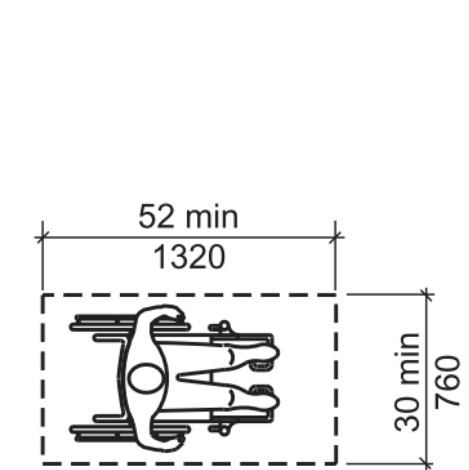


FIGURE 305.3.1
SIZE OF CLEAR FLOOR SPACE - NEW BUILDINGS

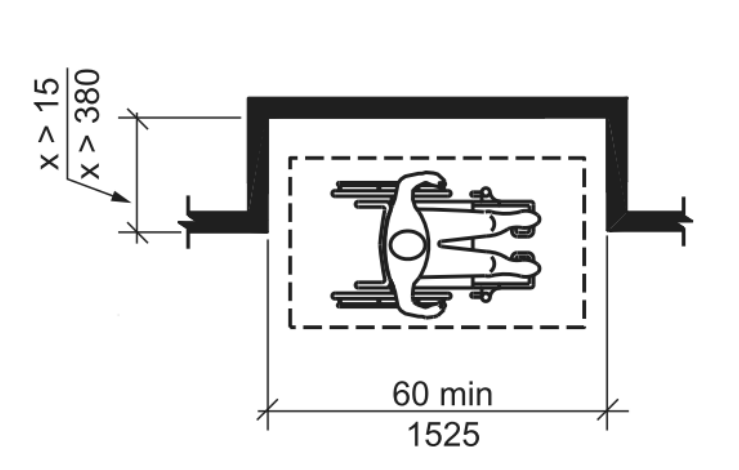


FIGURE 305.7.1
MANEUVERING CLEARANCE IN AN ALCOVE
PARALLEL APPROACH

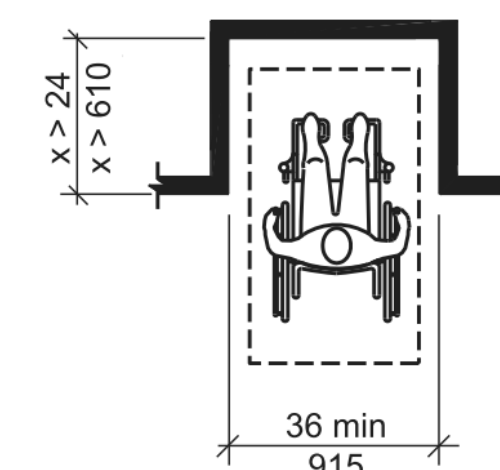


FIGURE 305.7.2
MANEUVERING CLEARANCE IN AN ALCOVE
FORWARD APPROACH

MINIMUM CLEAR FLOOR SPACE
Ref. Sections 304 & 305

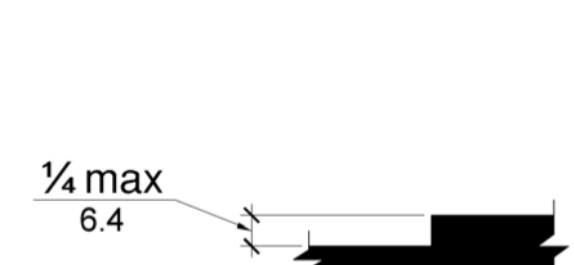


Figure 303.2
Vertical Change in Level

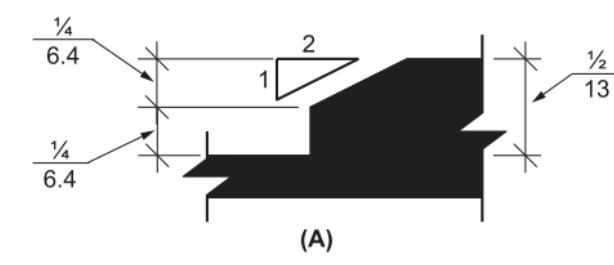


FIGURE 303.3
BEVELED CHANGES IN LEVEL

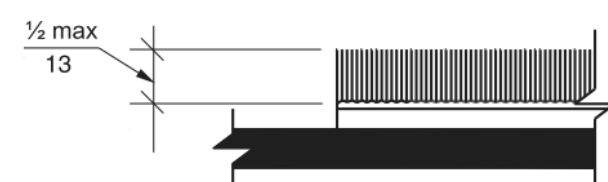


FIGURE 302.2
CARPET ON FLOOR SURFACES

NOTE:
CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED, AND SHALL COMPLY WITH SECTIONS 405 OR 406

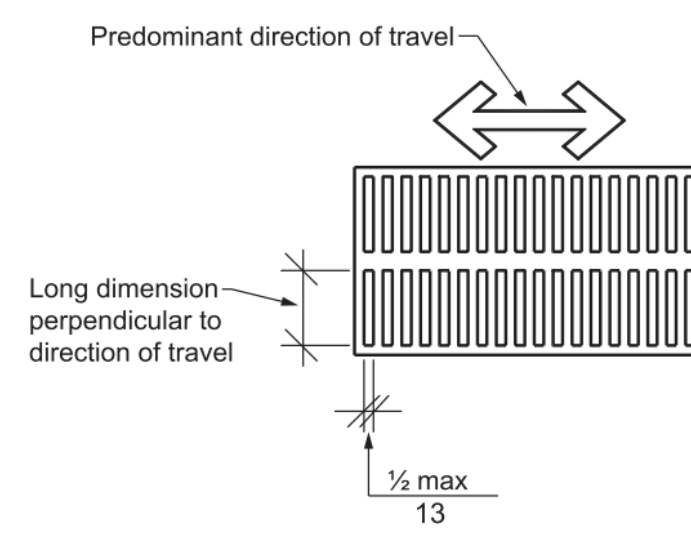
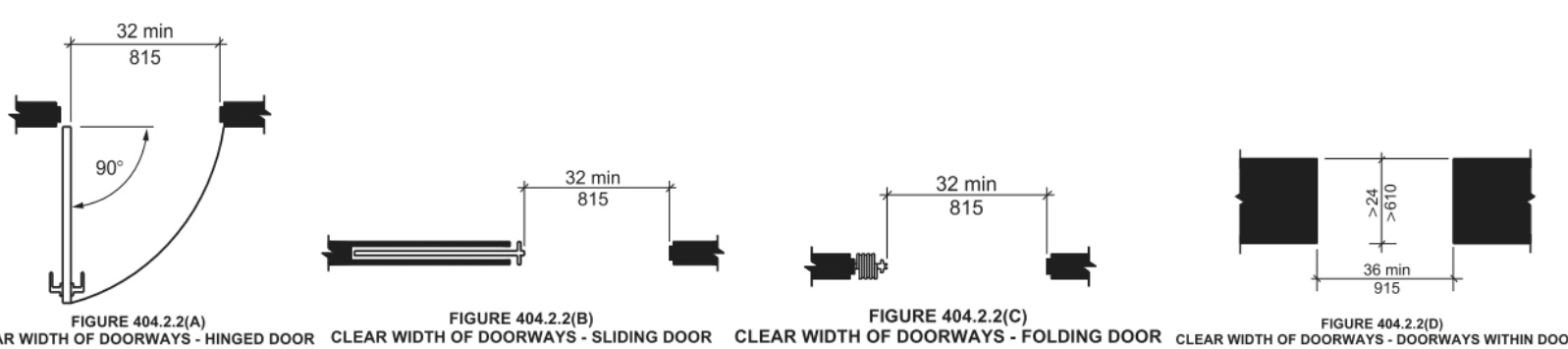


FIGURE 302.3
OPENINGS IN FLOOR SURFACES

FLOOR & GROUND SURFACES
Ref. Sections 302 & 303



CLEAR WIDTH OF DOORWAYS
Fig. 404.2.2

ACCESSIBLE ROUTE NOTE:
THE RUNNING SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48 (403.3)

ACCESSIBLE ROUTE
Ref. Sections 402

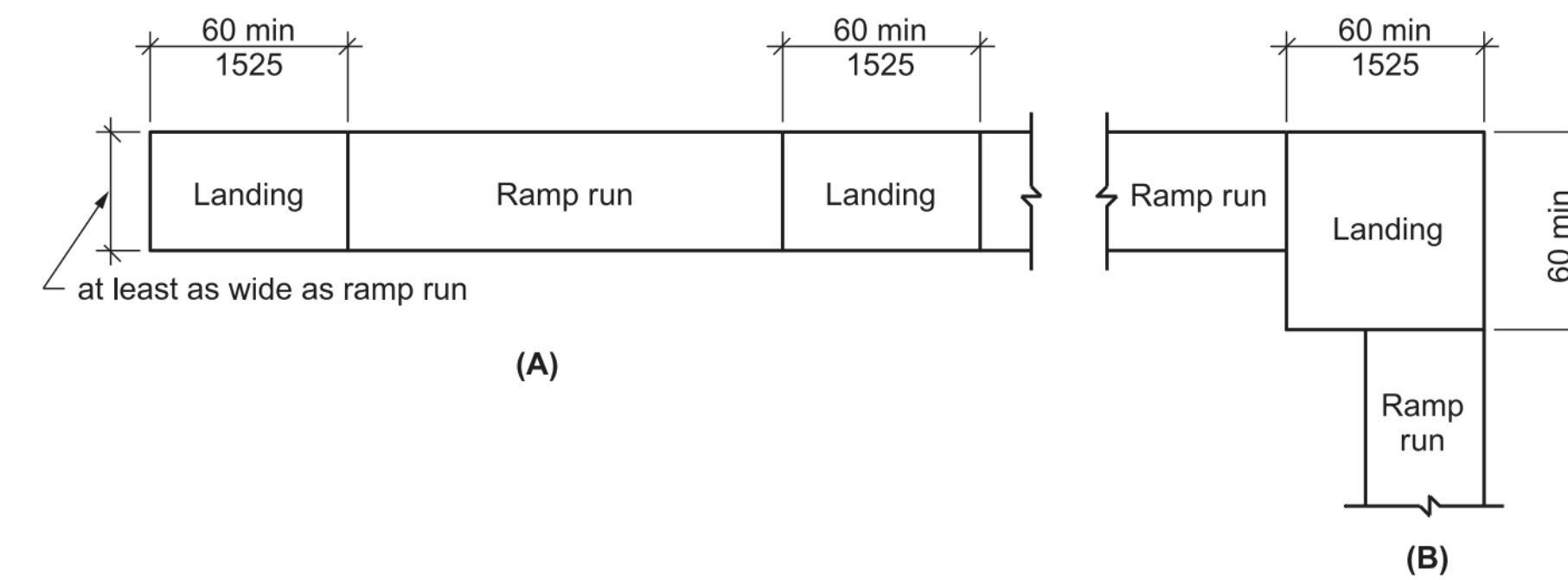
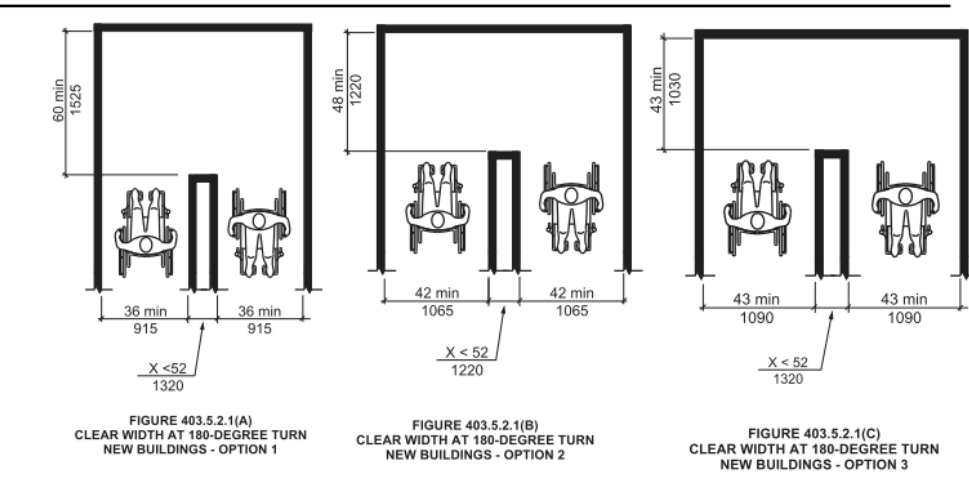
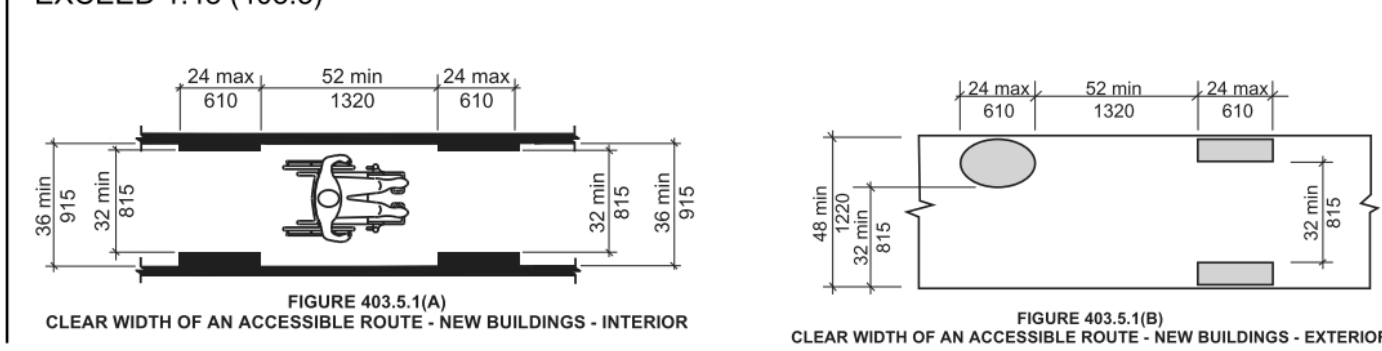


FIGURE 405.7
RAMP LANDINGS

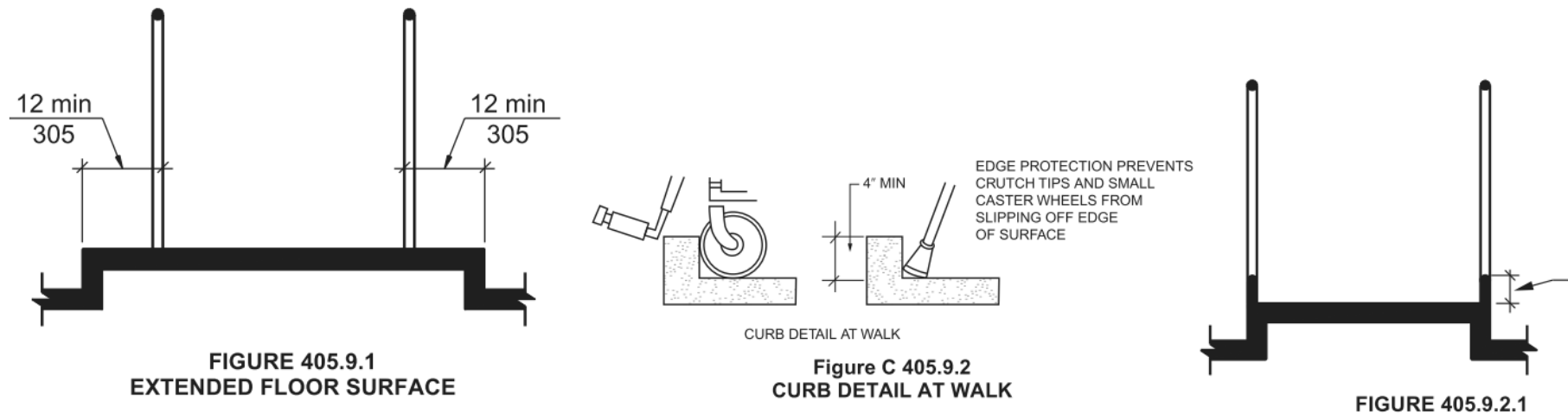


FIGURE 405.9.1
EXTENDED FLOOR SURFACE

FIGURE C 405.9.2
CURB DETAIL AT WALK

FIGURE 405.9.2.1
CURB

HANDRAILS
Ref. Sections 505

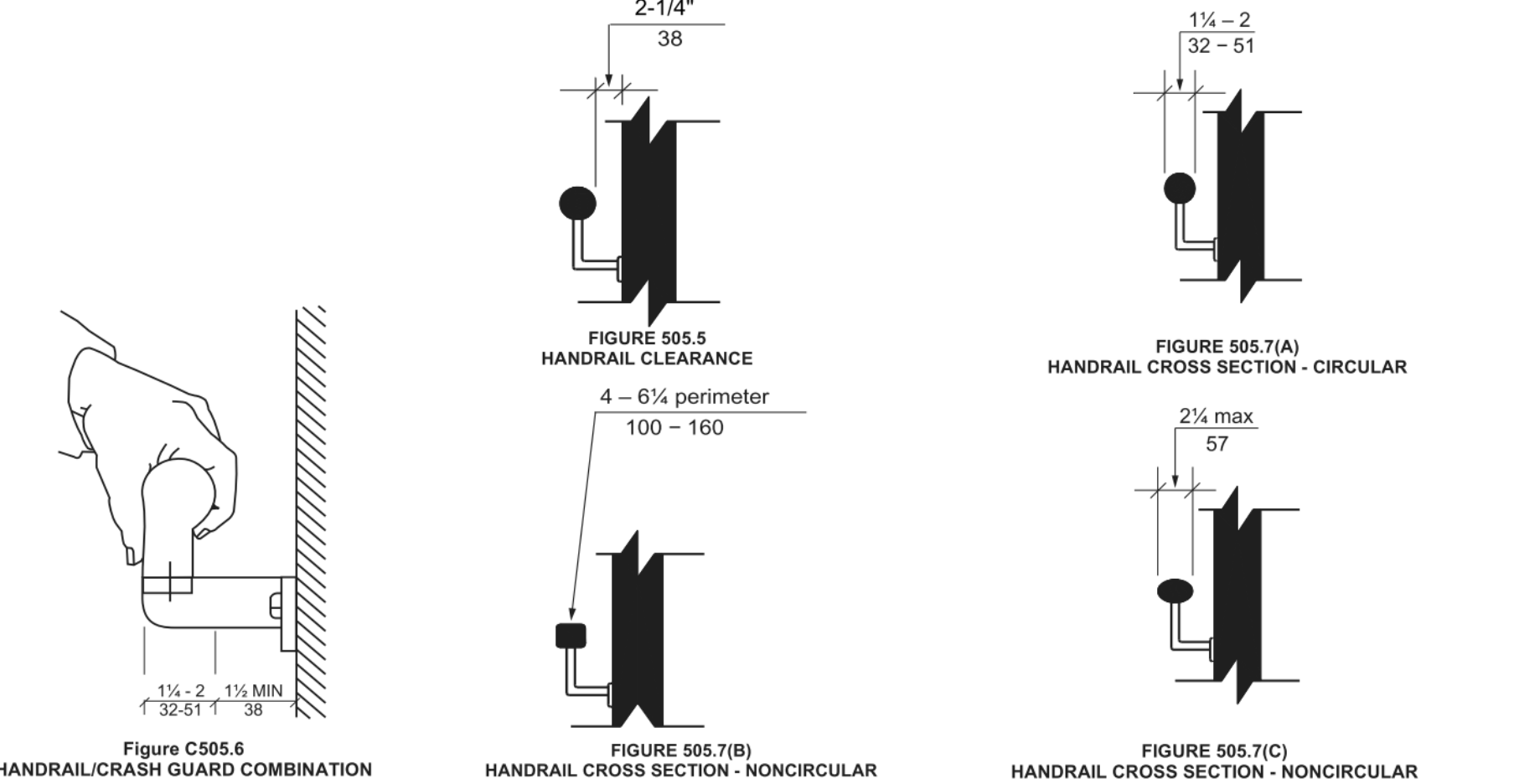


FIGURE 505.5
HANDRAIL CLEARANCE

FIGURE 505.7(A)
HANDRAIL CROSS SECTION - CIRCULAR

4 - 6 1/4 PERIMETER
100 - 160

2 1/4 MAX
57

FIGURE C 505.6
HANDRAIL/CRASH GUARD COMBINATION

FIGURE 505.7(B)
HANDRAIL CROSS SECTION - NONCIRCULAR

FIGURE 505.7(C)
HANDRAIL CROSS SECTION - NONCIRCULAR

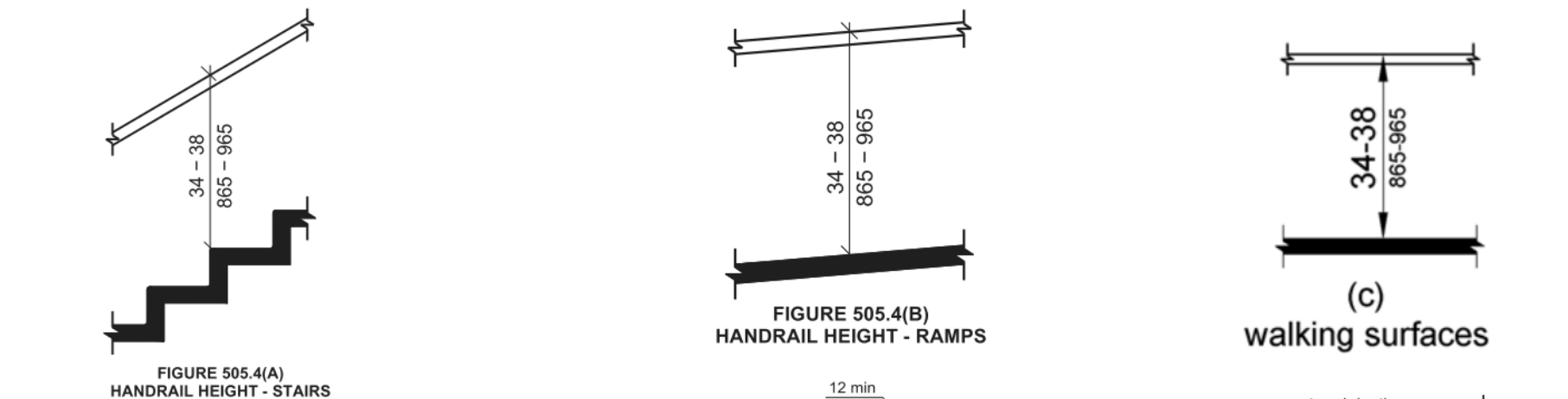


FIGURE 505.4(A)
HANDRAIL HEIGHT - STAIRS

FIGURE 505.4(B)
HANDRAIL HEIGHT - RAMP

(C)
walking surfaces

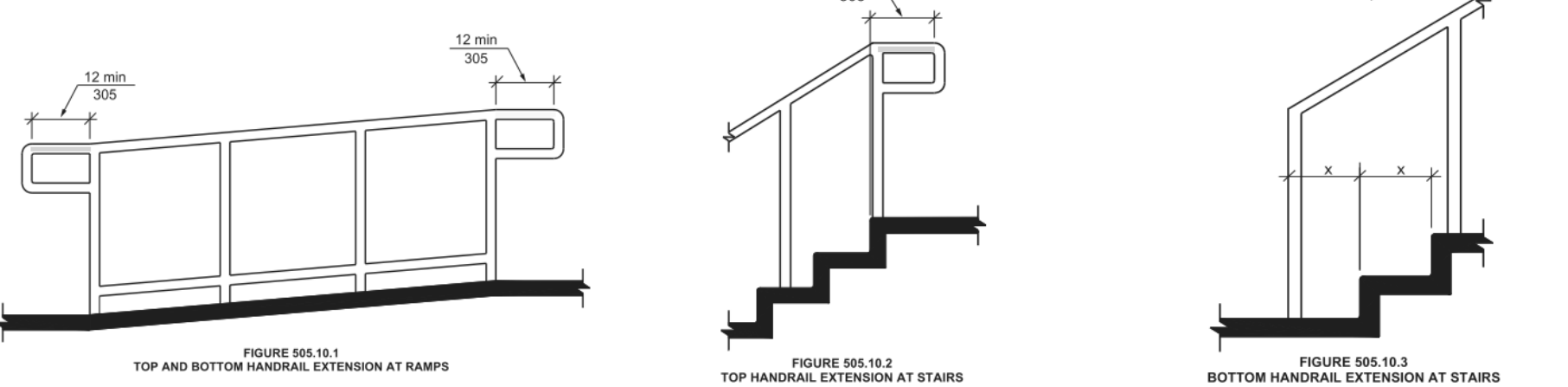


FIGURE 505.10.1
TOP AND BOTTOM HANDRAIL EXTENSION AT RAMP

FIGURE 505.10.2
TOP HANDRAIL EXTENSION AT STAIRS

FIGURE 505.10.3
BOTTOM HANDRAIL EXTENSION AT STAIRS

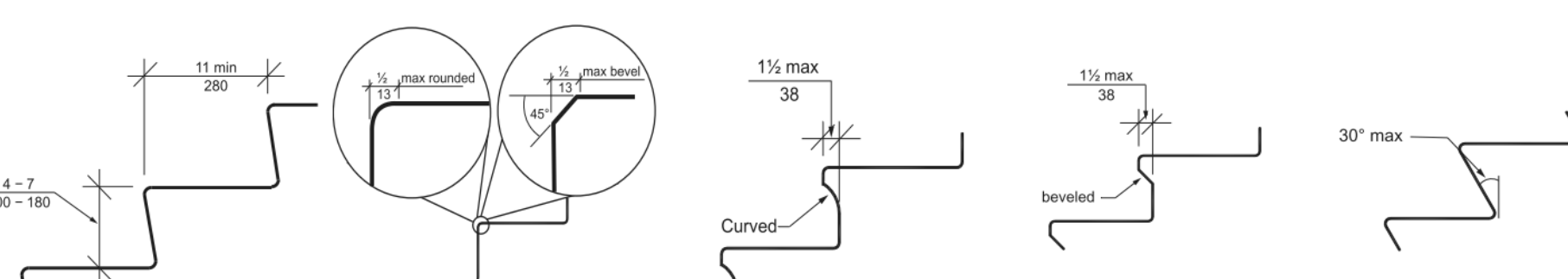


FIGURE 504.2
TREADS AND RISERS FOR STAIRWAYS

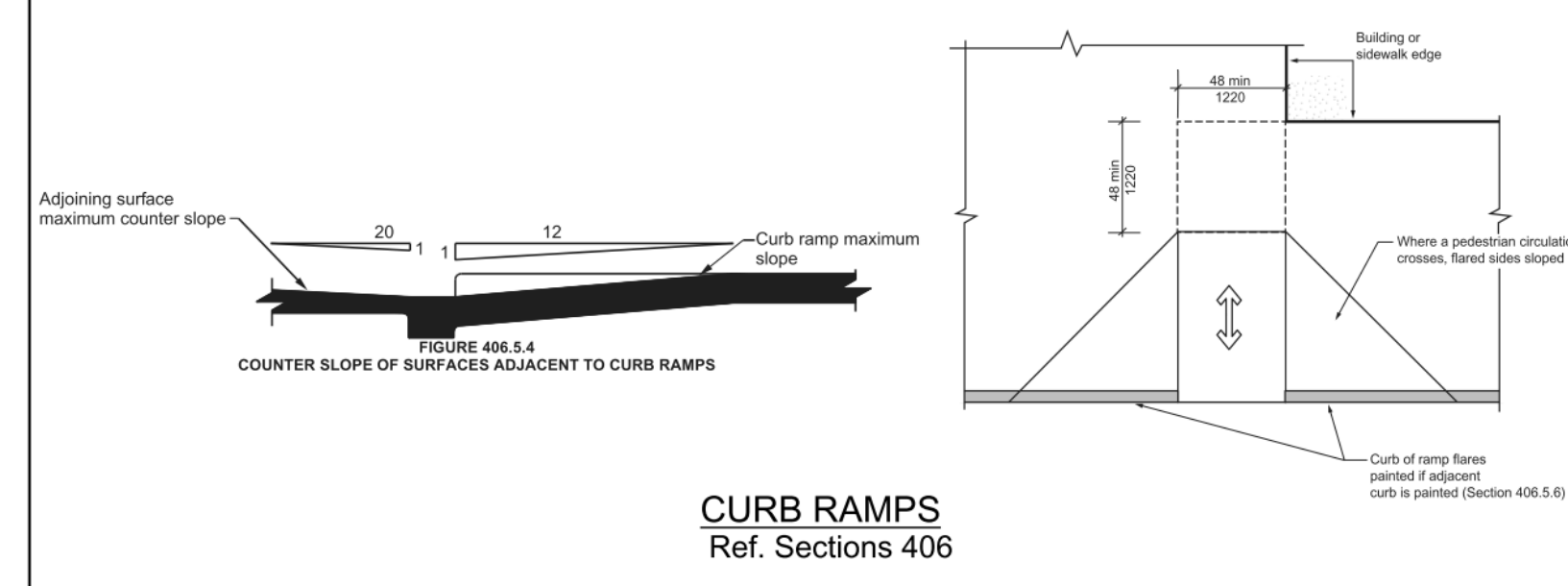
FIGURE 504.3(A)
STAIR NOSINGS - VERTICAL RISER - CURVE OR BEVEL AT LEADING EDGE

FIGURE 504.3(B)
STAIR NOSINGS - VERTICAL RISER - CURVED NOSING

FIGURE 504.3(C)
STAIR NOSINGS - VERTICAL RISER - BEVELED NOSING

FIGURE 504.3(D)
STAIR NOSINGS - VERTICAL RISER - ANGLED RISER

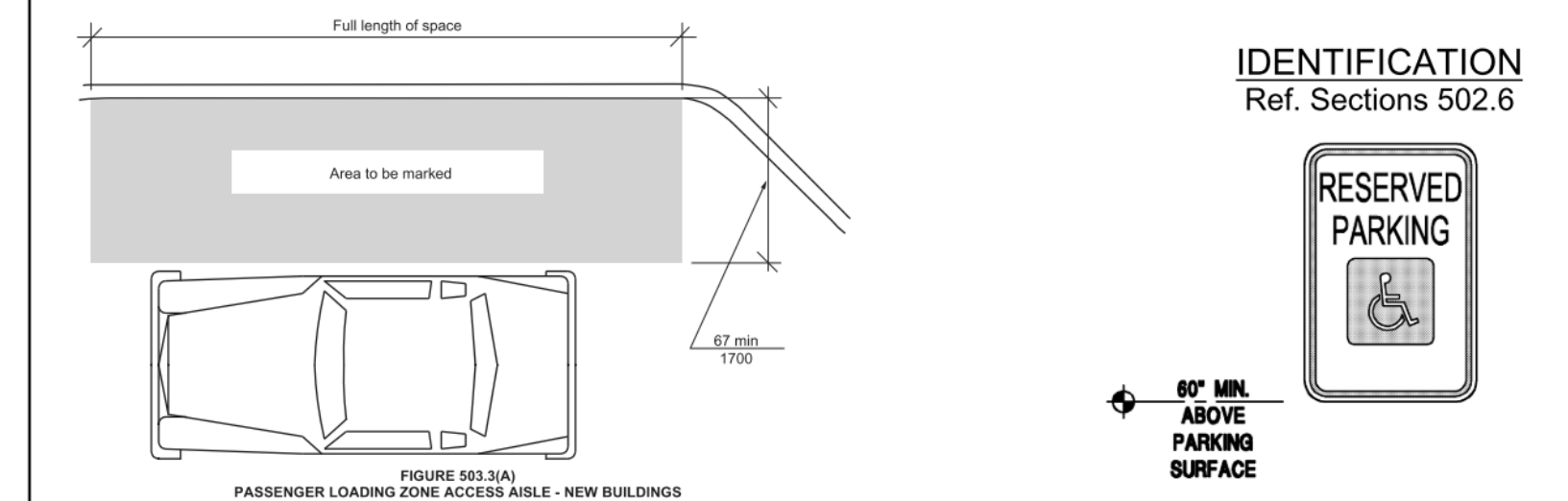
STAIRWAYS & HANDRAILS
Ref. Sections 504 & 505



CURB RAMPS
Ref. Sections 406

GENERAL SITE NOTES:
1. ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE LEVEL. MAXIMUM PERMITTED SLOPE IS 1:48 (502.5)

2. ACCESSIBLE PARKING SPACES MUST BE IDENTIFIED WITH A SIGN. SIGNS IDENTIFYING VAN ACCESSIBLE SPACES SHALL CONTAIN THE DESIGNATION 'VAN ACCESSIBLE'. SIGNS SHALL BE MINIMUM 60" FROM THE PARKING SURFACE TO THE BOTTOM OF THE SIGN. (502.7)



IDENTIFICATION
Ref. Sections 502.6

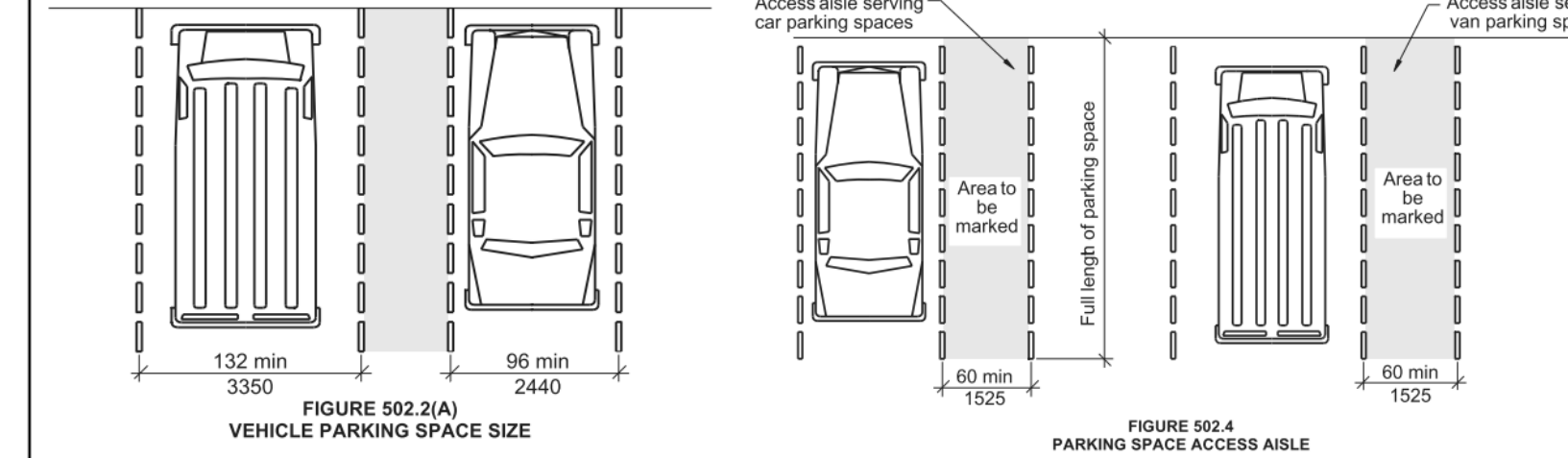


FIGURE 502.2(A)
VEHICLE PARKING SPACE SIZE

FIGURE 502.4
PARKING SPACE ACCESS AISLE

PARKING & PASSENGER LOADING ZONES
Ref. Sections 502 & 503

NOTES:
1. PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES (307.5)

2. PROTRUDING OBJECTS ON A CIRCULATION PATH SHALL COMPLY WITH SECTION 307

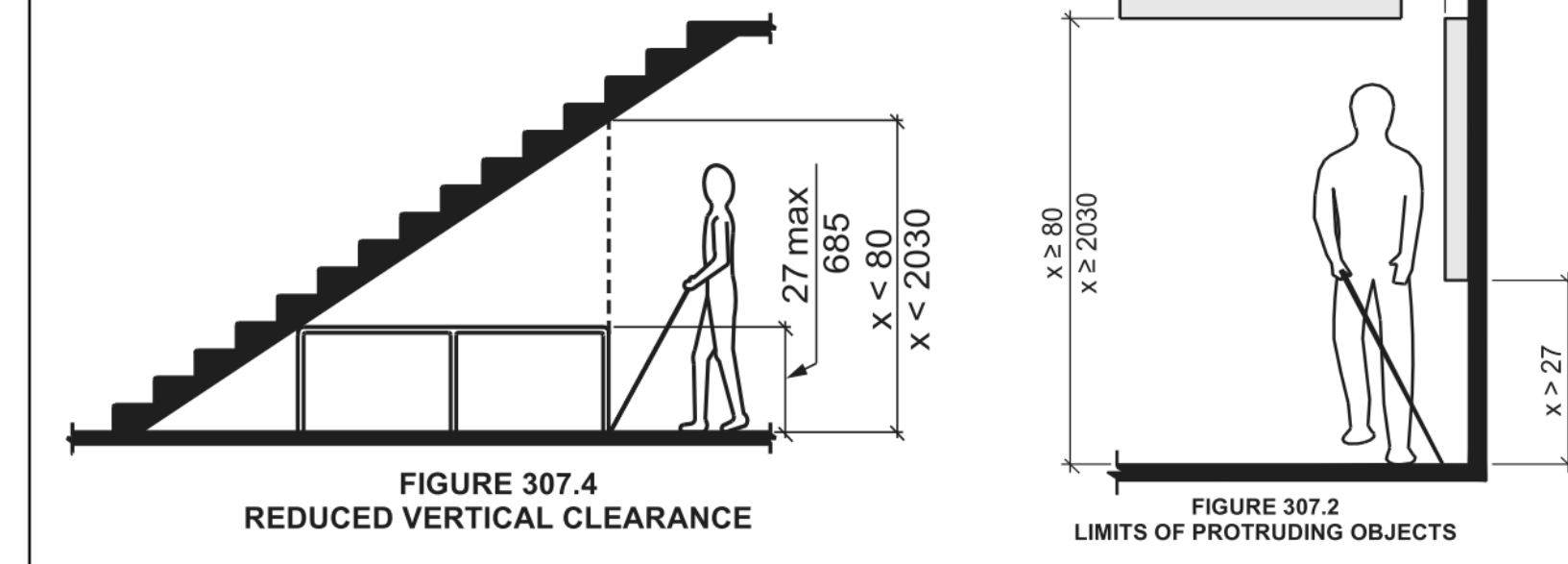


FIGURE 307.4
REDUCED VERTICAL CLEARANCE

FIGURE 307.2
LIMITS OF PROTRUDING OBJECTS

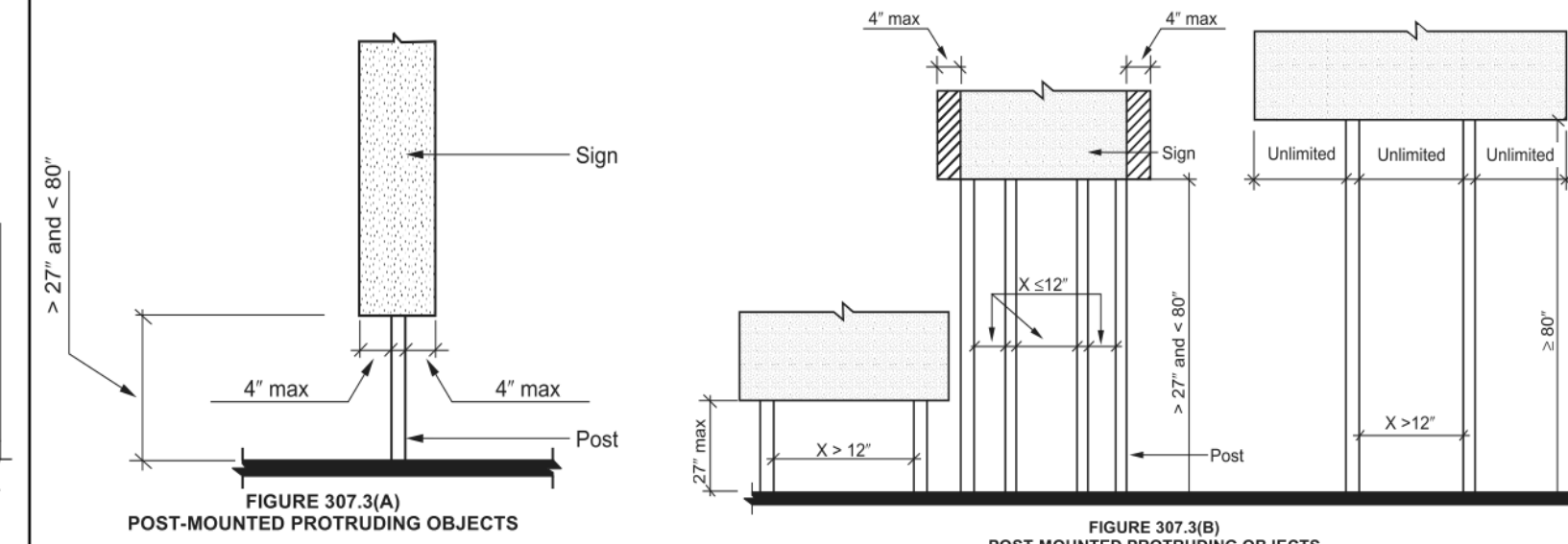


FIGURE 307.3(A)
POST-MOUNTED PROTRUDING OBJECTS

FIGURE 307.3(B)
POST-MOUNTED PROTRUDING OBJECTS

PROTRUDING OBJECTS
Ref. Sections 307

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PROJECT:
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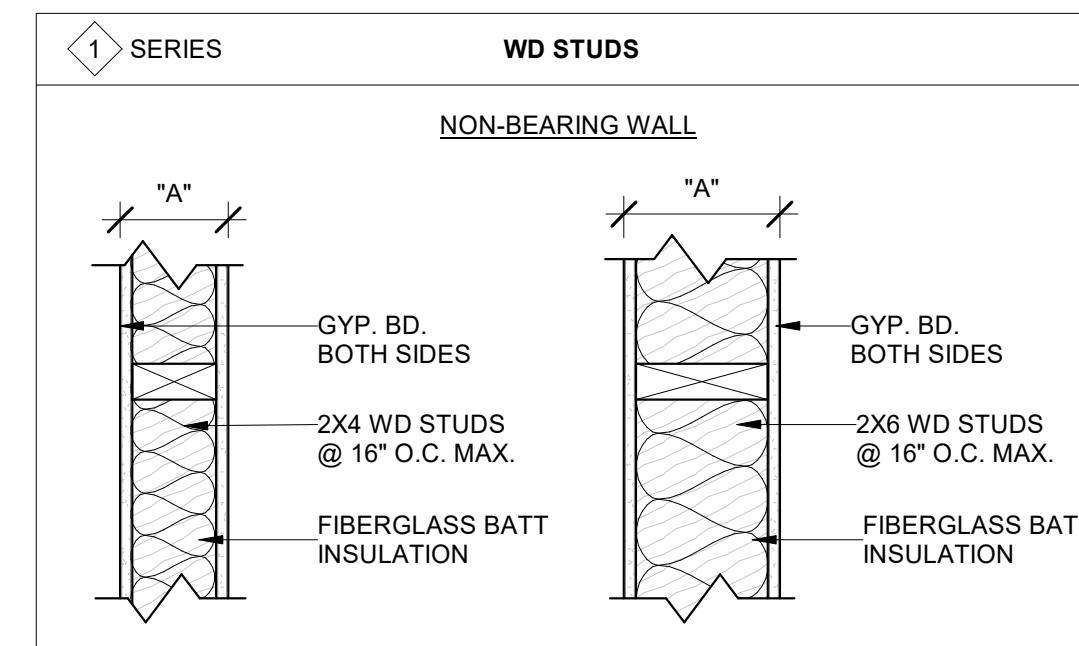
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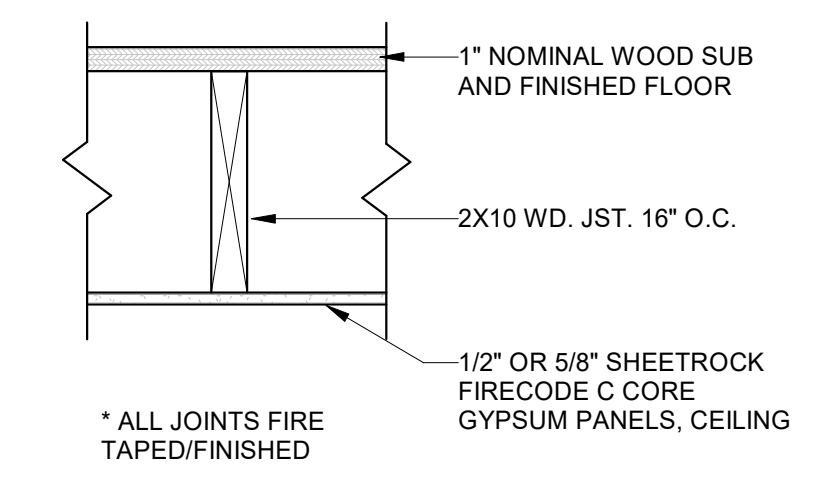
Scale
SCALE REFERS TO 24" X 36" PAPER SIZE



PTN TYPE	DIMENSIONS			TO DECK	FIRE RATED	CONSTR. TEST	STC		NOTES
	STUD WIDTH	GYP. BD. WIDTH	DIM 'A'				W/O INSUL	W/ INSUL	
1A	2X4 (3 1/2")	1/2"	4 1/2"	YES	-	-	N/A	40	1,2
1B	2X4 (3 1/2")	5/8"	4 3/4"	YES	1 HR	UL U305	N/A	40	1,3,4
1D	2X6 (5 1/2")	1/2"	6 1/2"	YES	-	-	N/A	40	1,2
1E	2X6 (5 1/2")	5/8"	6 3/4"	YES	1 HR	UL U419	N/A	40	1,2,3,4

- NOTES:
- WOOD STUDS @ 16" O.C. MAX.
 - GYP BD TYPE "WR" FOR WET AREAS.
 - GYP BD TYPE "X" @ FIRE RATED PARTITIONS.
 - PROVIDE FIRE-RATED JOINT @ TOP OF WALL/ROOF DECK JUNCTION. FIRE-CAULK @ EXTERIOR WALL JUNCTION.

PARTITION TYPES
 1 1/2" = 1'-0"



FL-1
 1 HOUR FLOOR-CEILING ASSEMBLY
 UL DES L512

GENERAL NOTES

- FIRE-CAULK AND SEAL ALL PENETRATIONS AT FIRE RATED WALLS/ SHAFTS
- PROVIDE FIRE-RATED DAMPERS PER MECHANICAL DRAWINGS AT ALL RATED PARTITIONS.
- PROVIDE MOISTURE-RESISTANT GYP. BD. AT ALL WET AND DAMP LOCATIONS, INCLUDING BUT NOT LIMITED TO TOILET ROOMS AND UTILITY ROOMS.
- PROVIDE TILE-BAKER BOARD AT ALL PARTITIONS SCHEDULED TO RECEIVE TILE OR STONE FINISHES.
- ALL METAL STUDS AND FRAMING WITHIN EXTERIOR ASSEMBLIES (WALLS, CEILINGS, SOFFITS, MISC. FRAMING) ARE TO BE GALVANIZED PER SPEC.

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PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
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SHEPHERDSTOWN

PARTITION TYPES AND DETAILS

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GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
- 2. DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- 3. EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
- 4. REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- 5. EXISTING GASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
- 6. REMOVE AND REPLACE EXISTING MECH. UNIT. REFER TO MEP DRAWINGS.
- 7. REMOVE/RELOCATE EXISTING TOILET. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- 8. REMOVE BOILER. REFER TO MEP SHEETS & COORDINATE WITH OWNER.
- 9. REMOVE FUEL OIL TANK. REFER TO MEP SHEETS & COORDINATE WITH OWNER.
- 10. RELOCATE ELECTRICAL PANEL AND FIXTURES. REFER TO ELECTRICAL SHEETS.
- 11. REMOVE BOOKCASES. SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
- 12. ETR BOOKCASES.
- 13. PREP EX. SITE FOR NEW EQUIP. PAD. REFER TO MECH. DWGS.
- 14. DEMO EX. FLOOR STRUCT. TO ACCOMMODATE NEW LULA SHAFT. REF. TO STRUCT. DEMO SHEET.
- 15. DEMO ENTIRE EXISTING FIRST FLOOR CEILING AND LIGHT FIXTURES.

DEMO LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED

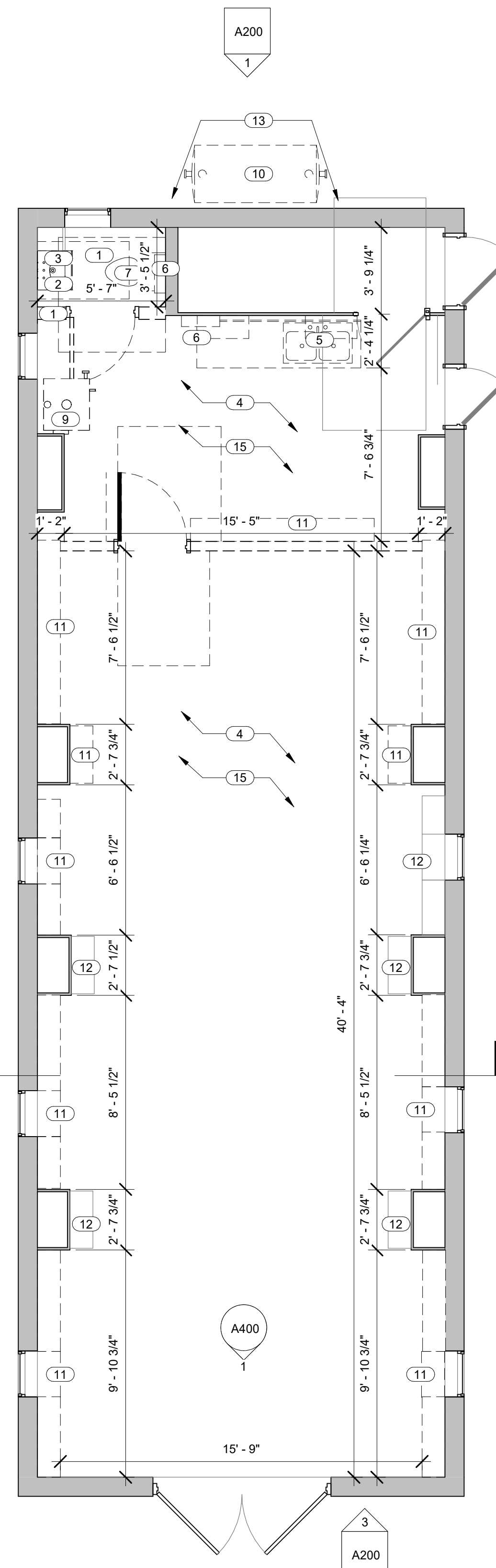


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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
LEVEL 1 - DEMOLITION



1 LEVEL 1 - DEMOLITION
 1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

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GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM; REFER TO MEP DRAWINGS FOR MORE INFORMATION
- 2. DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
- 3. EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
- 4. REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- 5. EXISTING CASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
- 6. REMOVE AND REPLACE EXISTING MECH. UNIT. REFER TO MEP DRAWINGS.
- 7. REMOVE/RELOCATE EXISTING TOILET. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- 8. REMOVE BOILER, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- 9. REMOVE FUEL OIL TANK, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- 10. RELOCATE ELECTRICAL PANEL AND FIXTURES, REFER TO ELECTRICAL SHEETS
- 11. REMOVE BOOKCASES, SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
- 12. ETR BOOKCASES
- 13. PREP EX. SITE FOR NEW EQUIP. PAD, REFER TO MECH. DWGS.
- 14. DEMO EX. FLOOR STRUCT. TO ACCOMMODATE NEW LULA SHAFT. REF. TO STRUCT. DEMO SHEET.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



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PROJECT:
MARKET HOUSE
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 SHEPHERDSTOWN
LEVEL 2 - DEMOLITION

Revision Schedule

No.	Revision Description	Date

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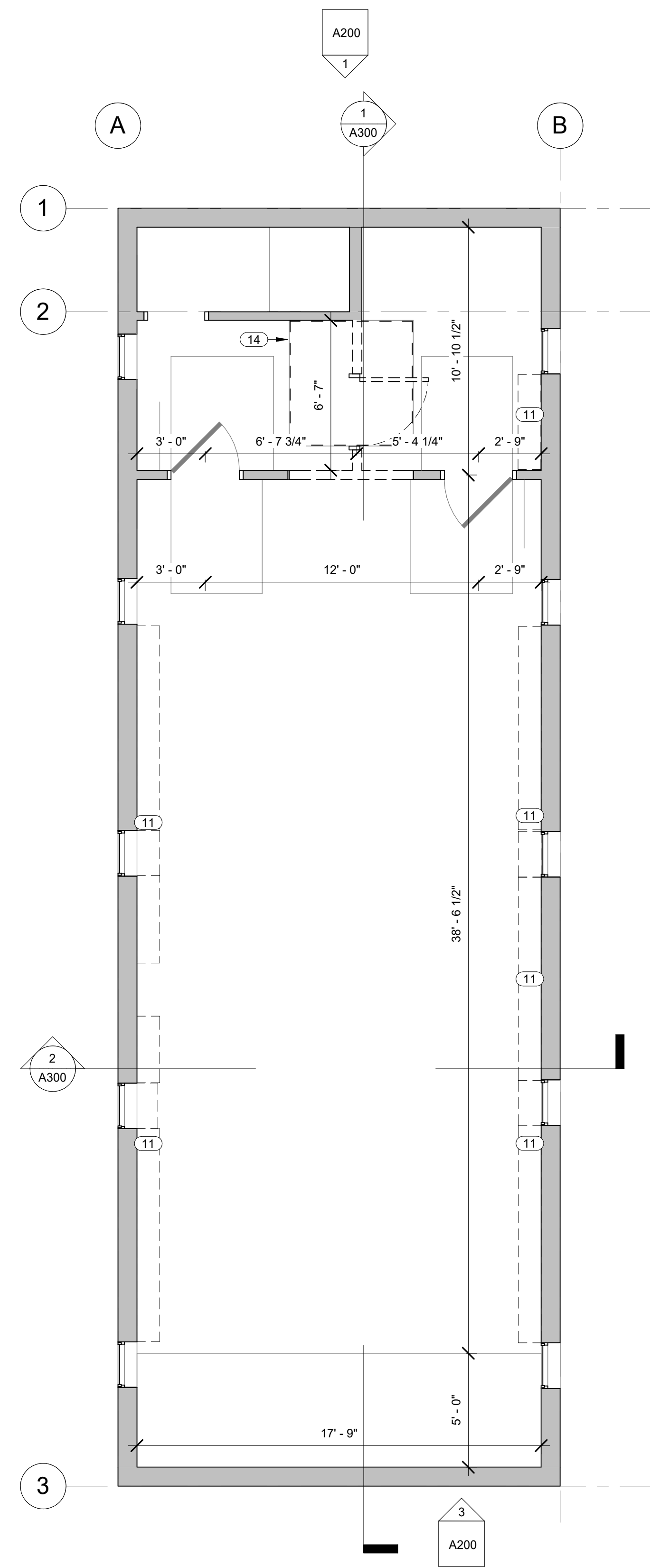
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1 LEVEL 2-DEMO
 1/4" = 1'-0"

GENERAL NOTES

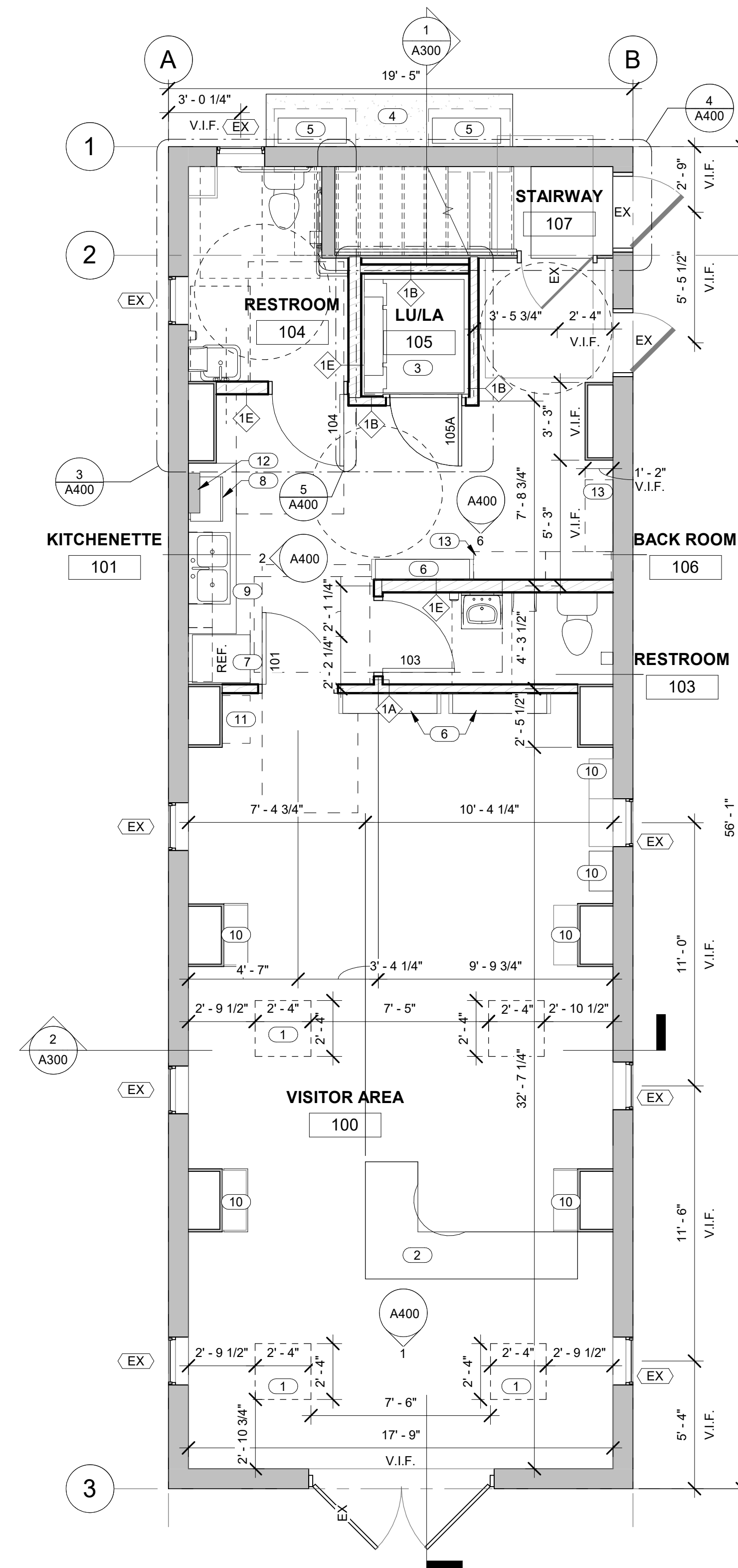
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- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. ADD DISPLAY CASES
- 2. ADD L SHAPE RECEPTION DESK
- 3. INSTALL NEW FLOOR MOUNTED GARAVENTA-GENESIS SHAFTWAY SW-360 LULA FOR HANDICAP ACCESS TO SECOND FLOOR
- 4. SOUND ABSORBING PAD W/ 6" SNOW LEGS, COORD. W/ HEAT PUMP MANUFACTURER RECOMMNTS.
- 5. NEW MINI SPLIT HEAT PUMP, REFER TO MECH. DWGS.
- 6. NEW MINI SPLIT WALL MOUNTED AIR HANDLER
- 7. NEW SMALL SIZE REFRIGERATOR, TBD BY OWNER
- 8. NEW SMALL SIZE MICROWAVE, TBD BY OWNER
- 9. PANTRY BASE CAB., COUNTERTOP AND SINK TBD BY OWNER
- 10. ETR SHELVING
- 11. REPLACE SHELVING WITH STOR. CABINET
- 12. RELOCATED ELECT. PANEL
- 13. NEW STOR. CABINETS, DIMS WILL VARY ACCORD. TO WIDTH OF SHELVES

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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
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 SHEPHERDSTOWN
LEVEL 1 PLAN



1 LEVEL 1 - NEW FLOOR PLAN
 1/4" = 1'-0"

Revision Schedule

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GENERAL NOTES

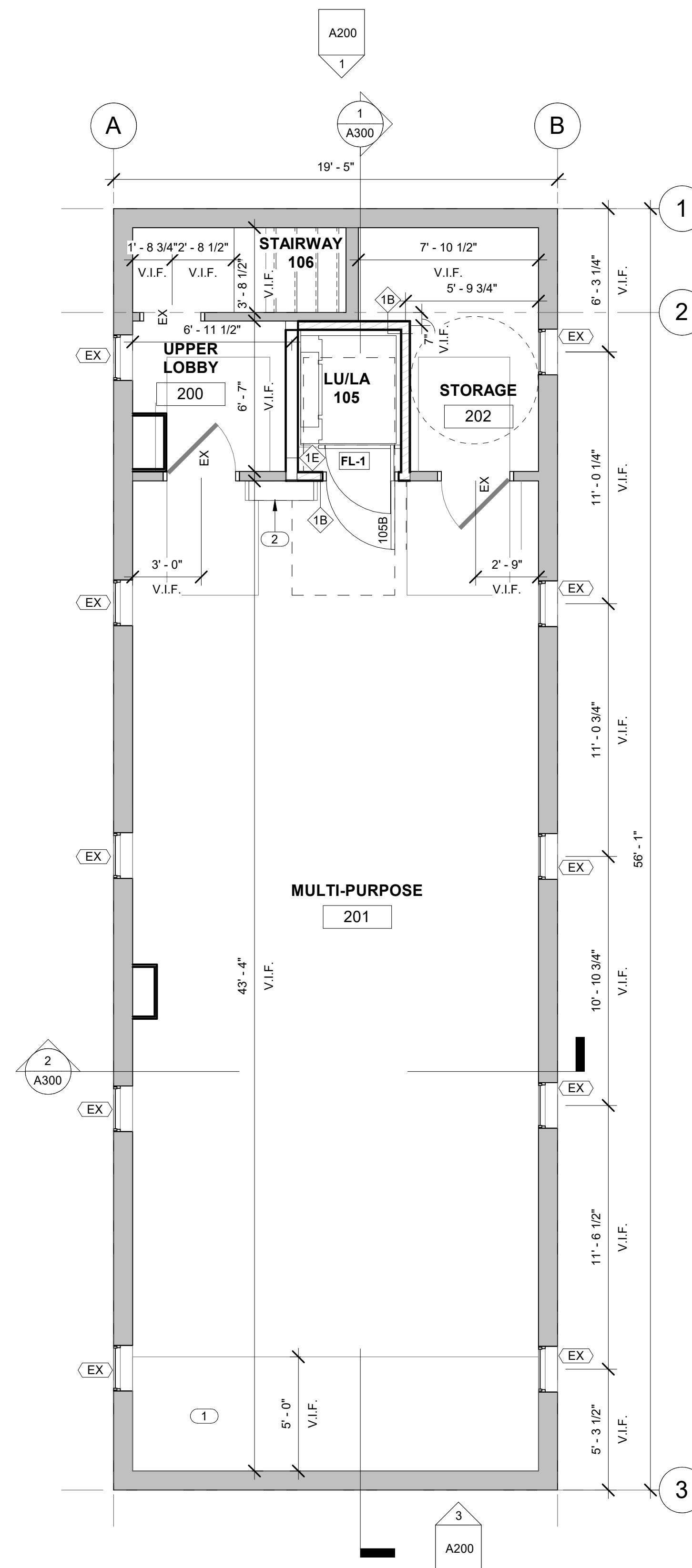
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- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.
- E.

KEYED NOTES

- 1. EX. ELEVATED PLATFORM
- 2. NEW MINI SPLIT WALL MOUNTED AIR HANDLER

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**PROJECT:
MARKET HOUSE
100 EAST GERMAN ST.
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SHEPHERDSTOWN
LEVEL 2 PLAN**



1 LEVEL 2 - NEW FLOOR PLAN
1/4" = 1'-0"

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GENERAL NOTES

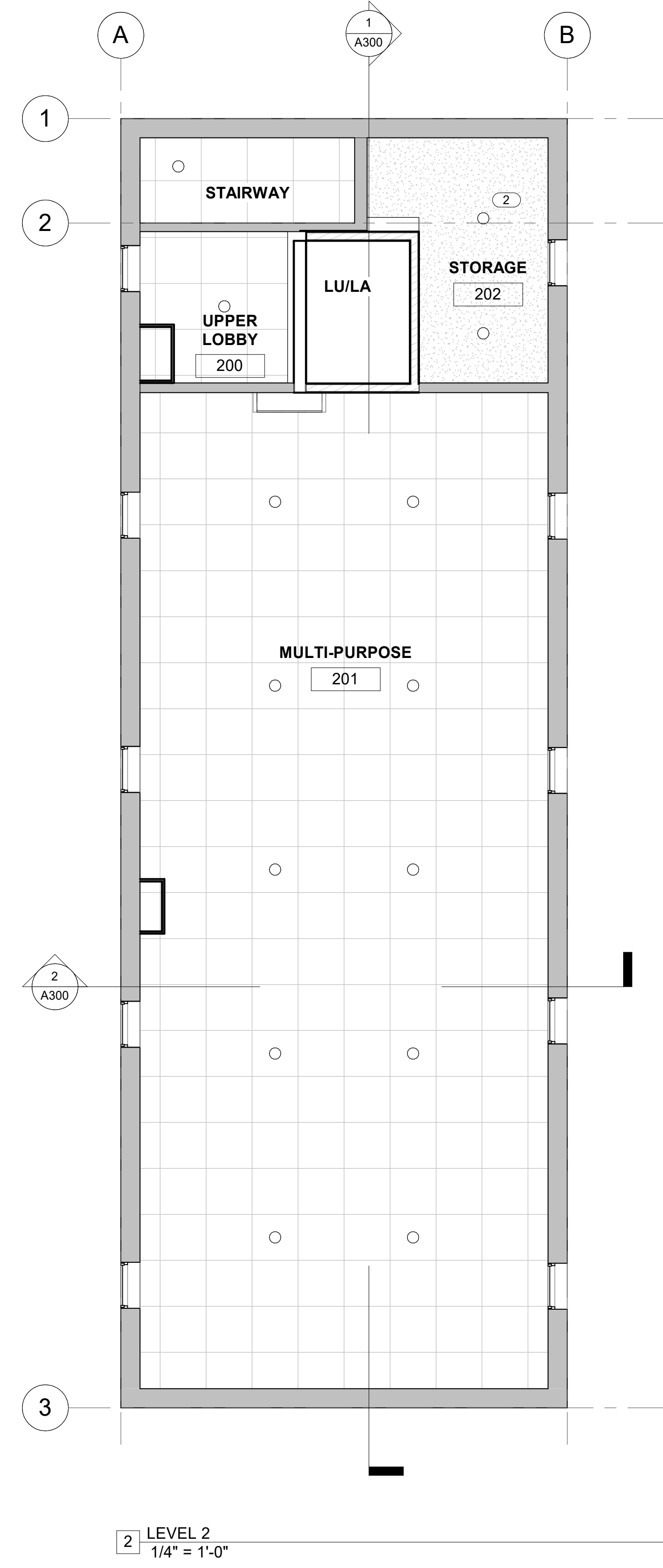
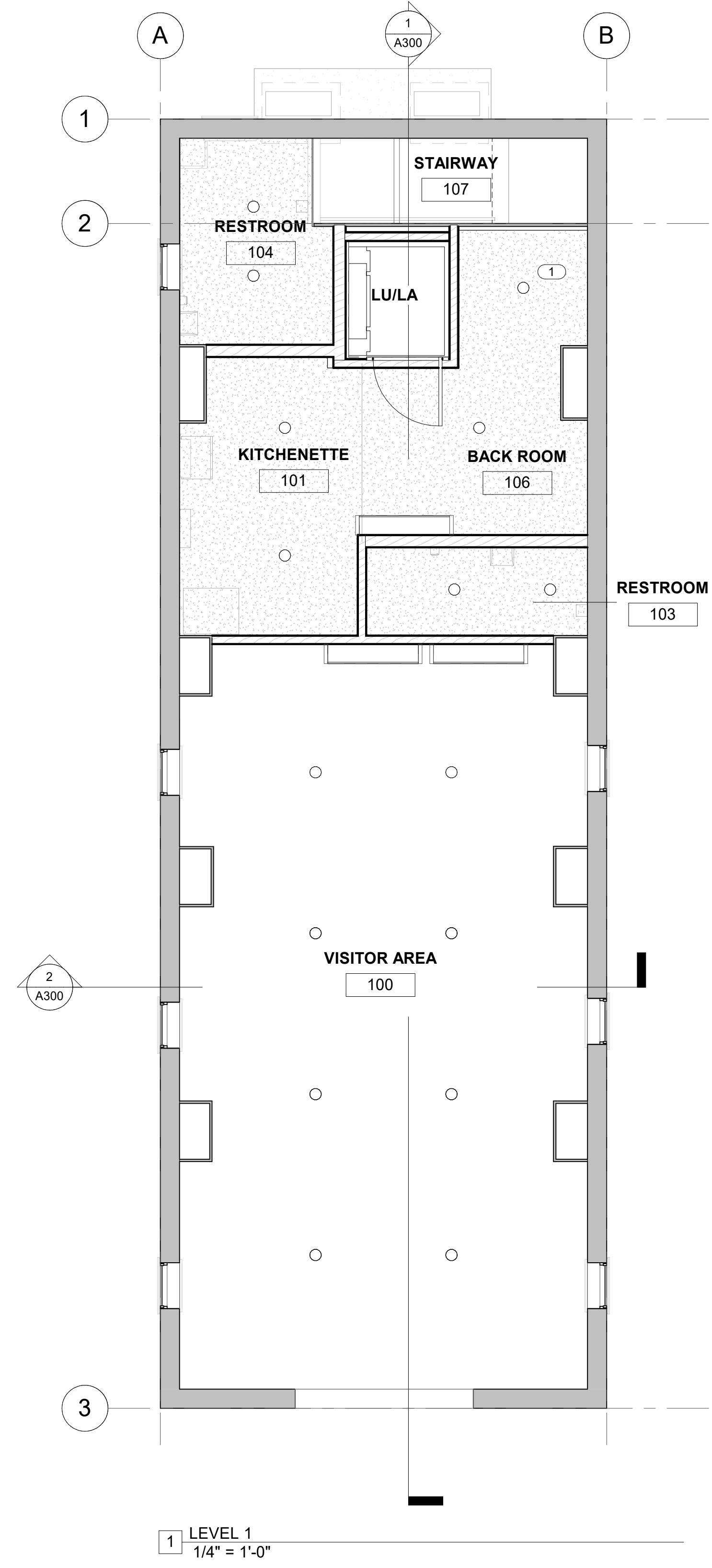
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- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING CEILINGS AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. SEE D111 & D112 FOR ADDITIONAL DETAILS.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. LOCATIONS IDENTIFIED FOR LIGHTING FIXTURES TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
- 2. USE EXISTING LIGHT LOCATIONS WHERE POSSIBLE, INSTALL NEW FIXTURES, SELECTED BY OWNER

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REFLECTED CEILING PLAN - LEVEL 1



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A110
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KEYED NOTES

1. NEW MINI SPLIT HEAT PUMP, REFER TO MECH. DWGS.
2. NEW EQUIPMENT SOUND ISOLATION PAD, REFER TO MECH. DWGS.

GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

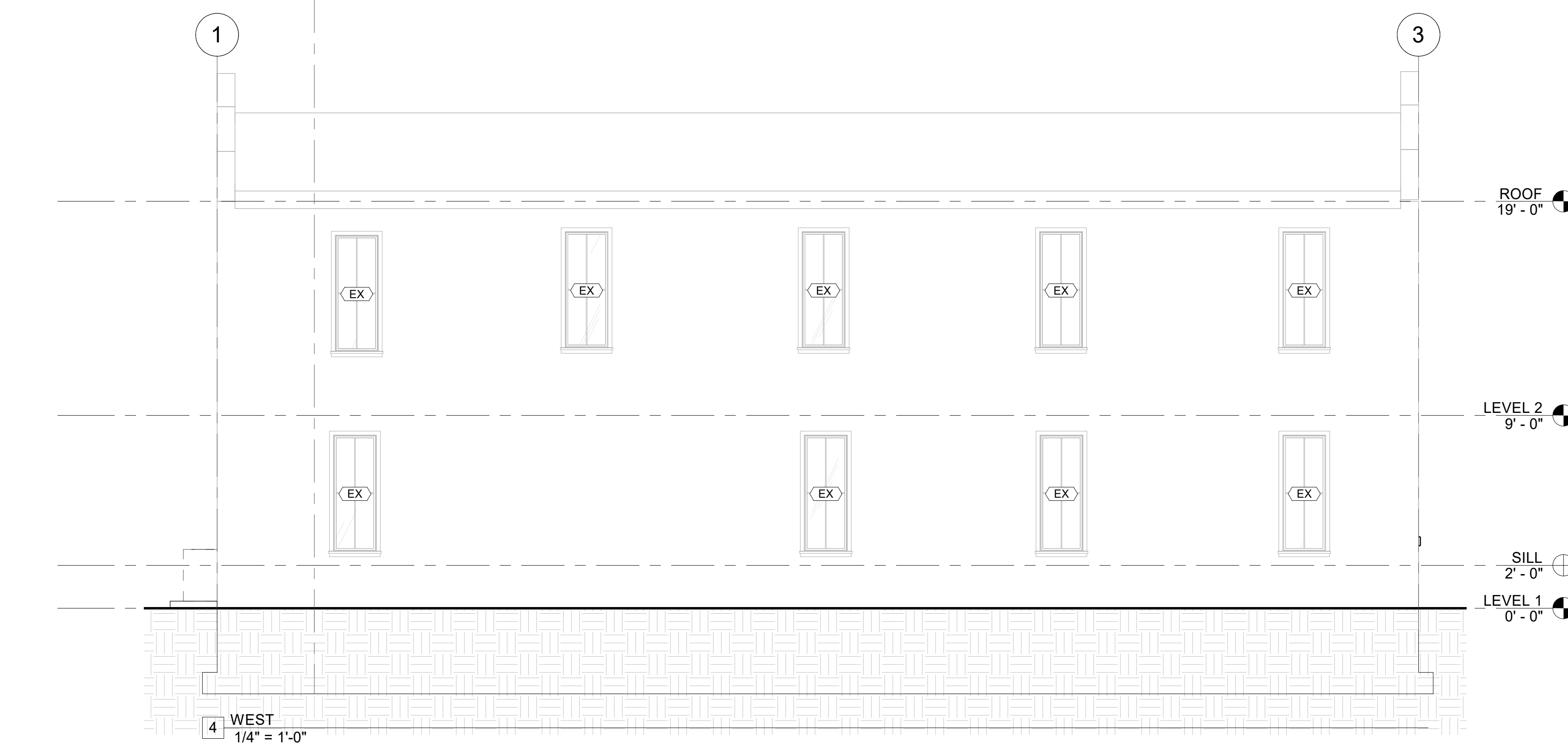
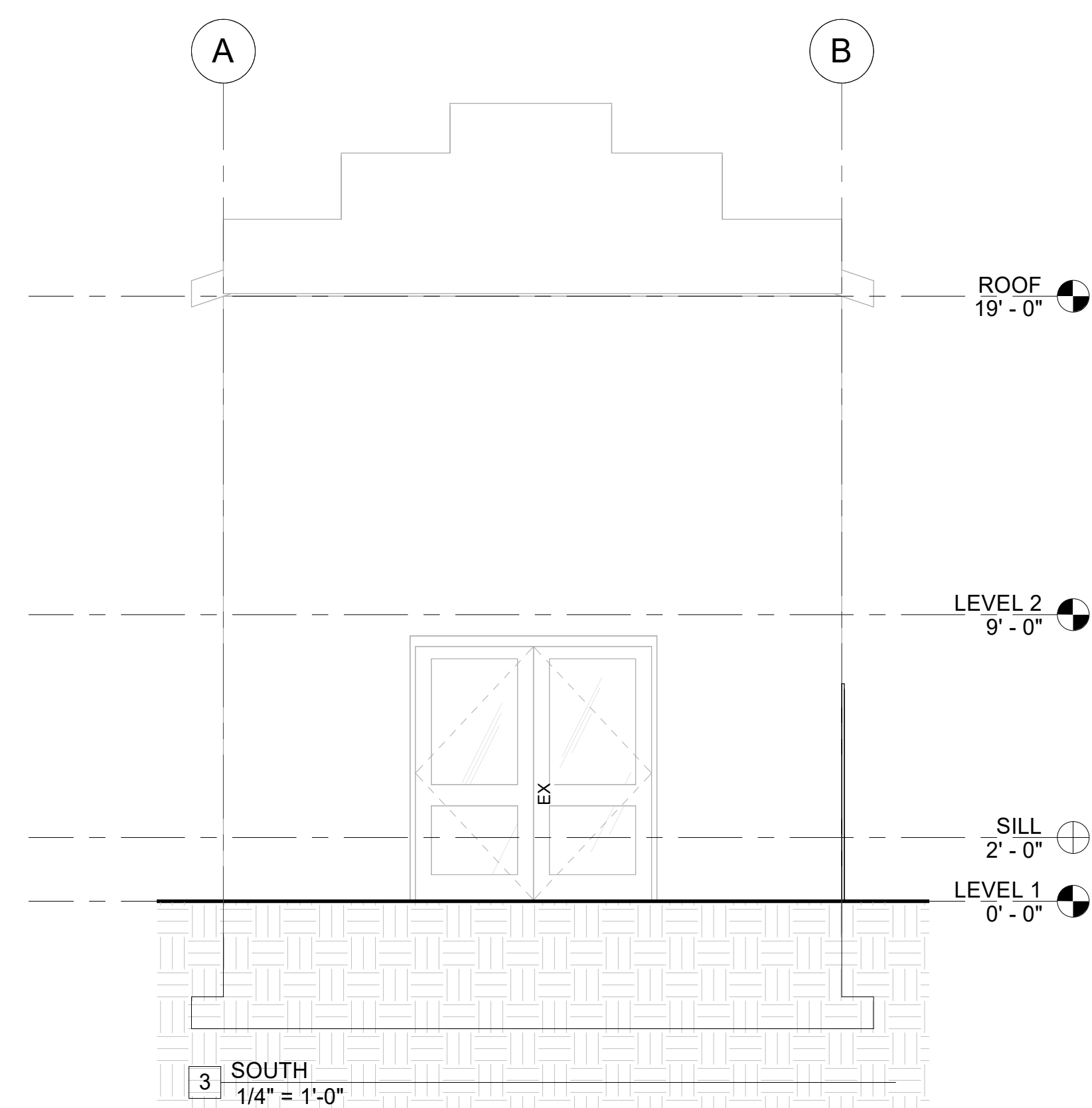
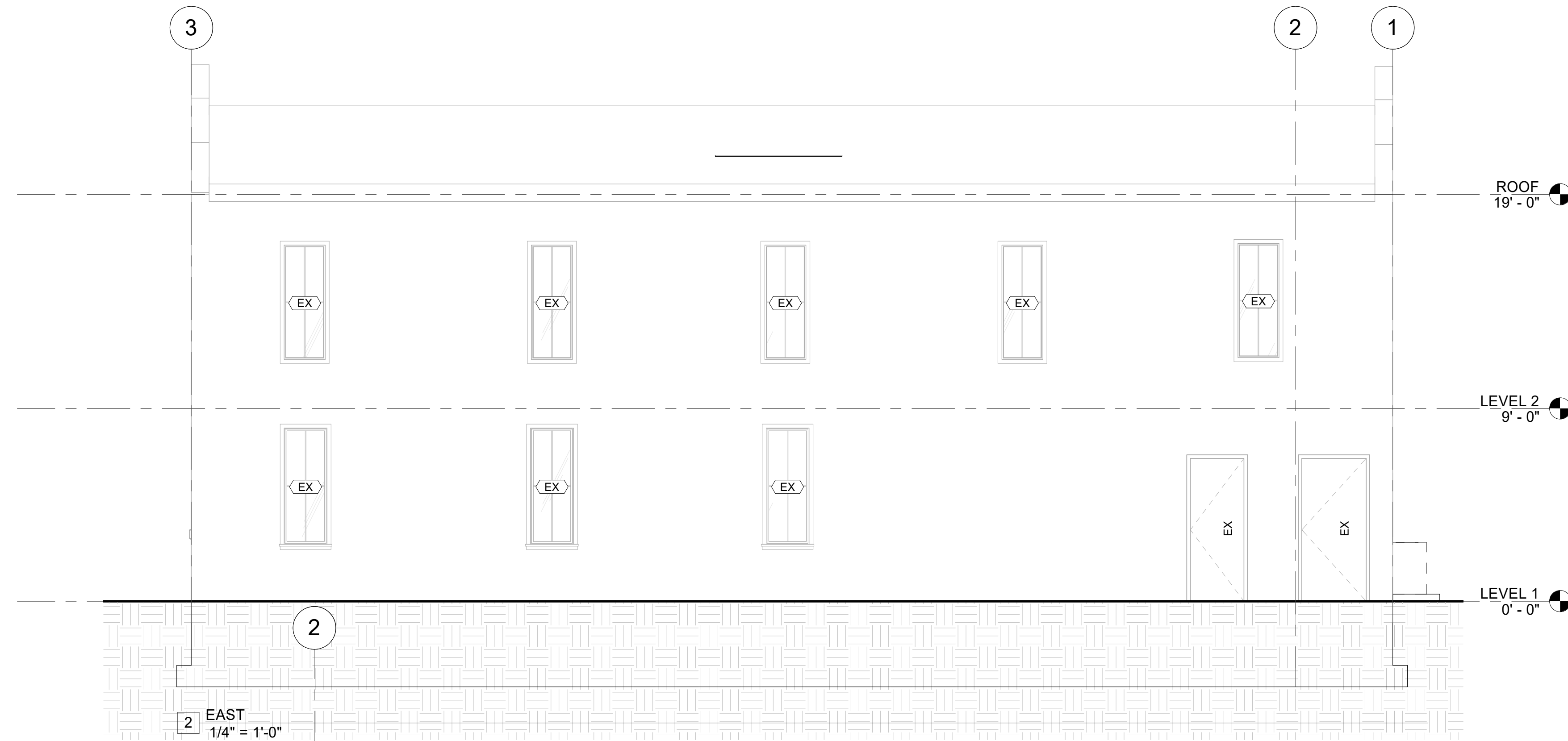
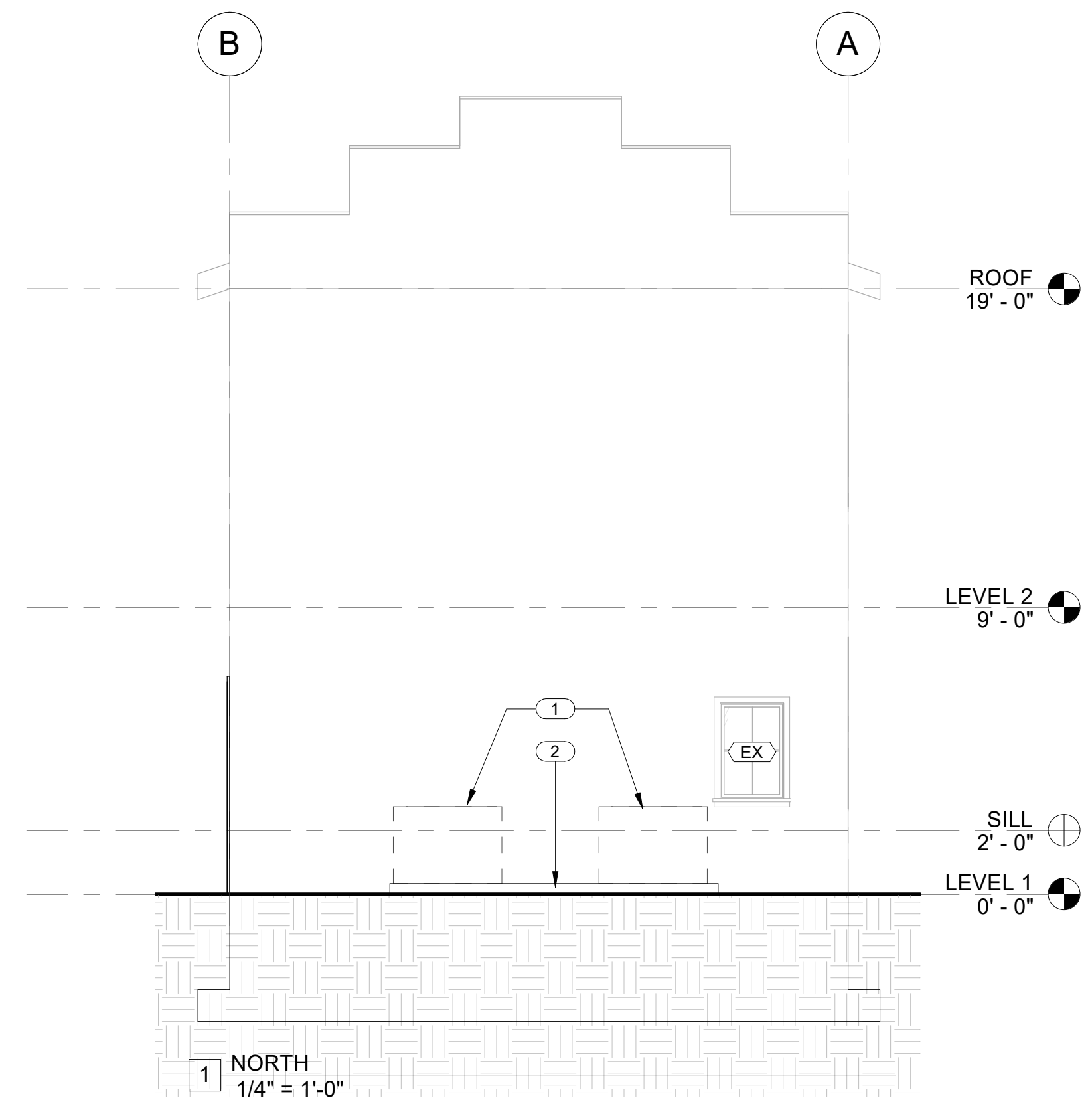


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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
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 SHEPHERDSTOWN
ELEVATIONS



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GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. FL-1 RATED FLOOR ASSEMBLY BETWEEN FIRST AND SECOND FLOOR RATED PARTITIONS
- 2. RECEPTION DESK
- 3. ETR BOOKCASES
- 4. ETR ELEVATED PLATFORM
- 5. MINI-SPLIT AIR HANDLER
- 6. TOILET PAPER DISPENSER
- 7. PAPER TOWEL DISPENSER
- 8. SOAP DISPENSER

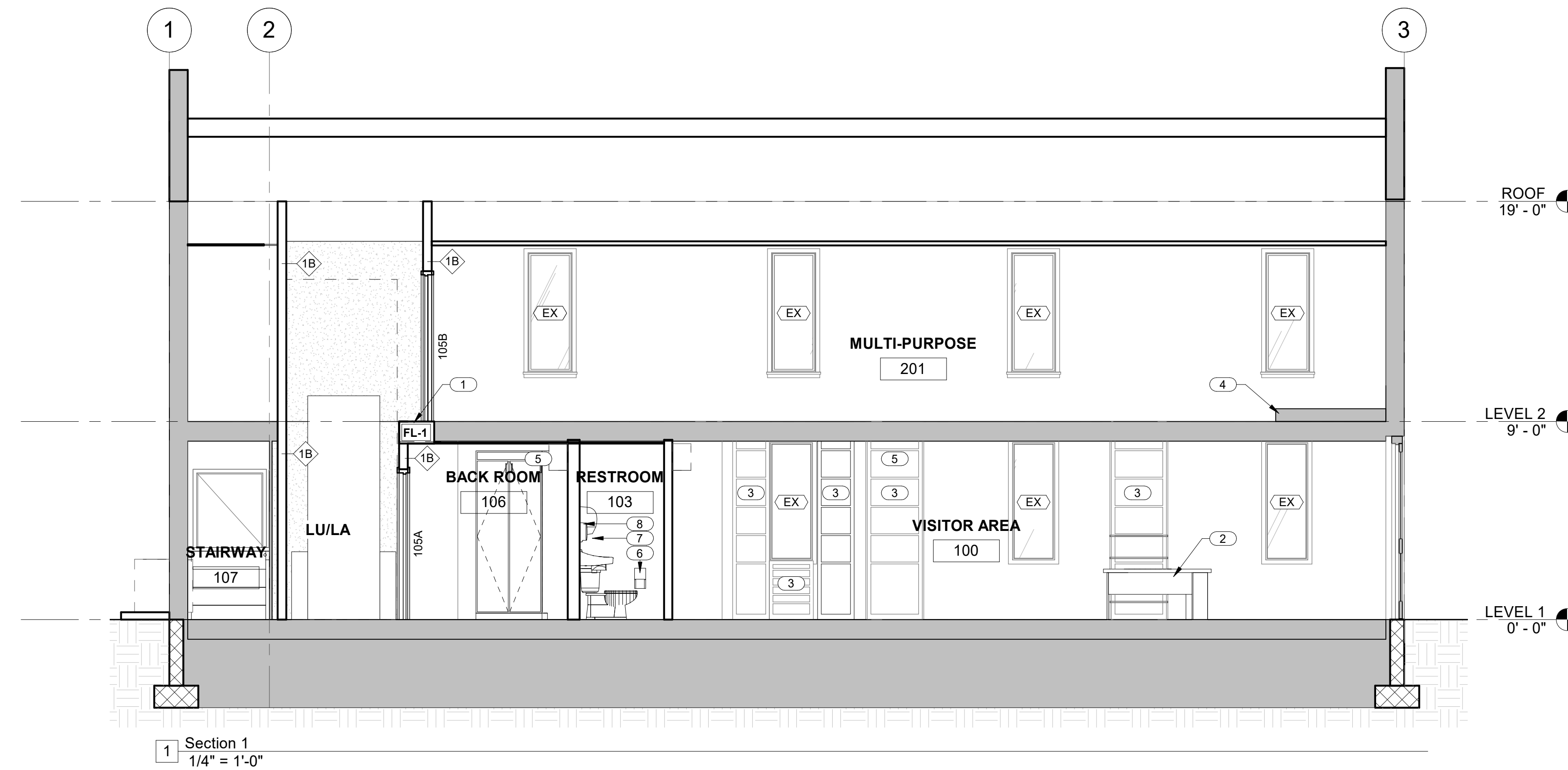


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 EIKINS, WV 102 THIRD STREET

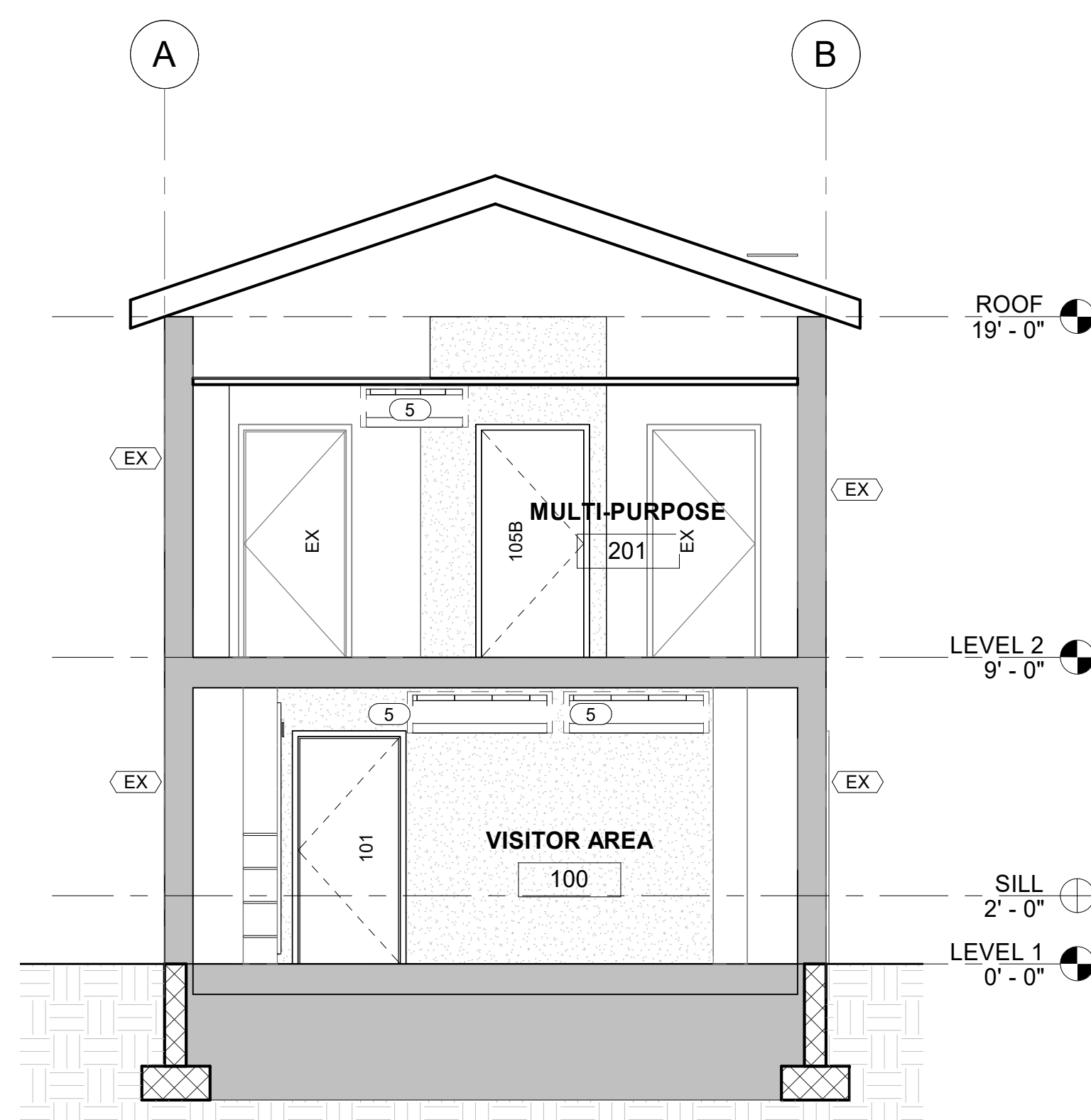
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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
SECTIONS



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

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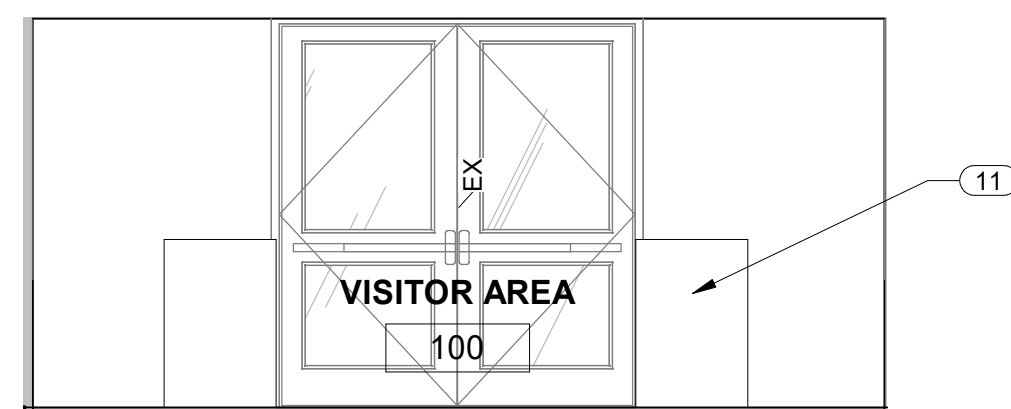
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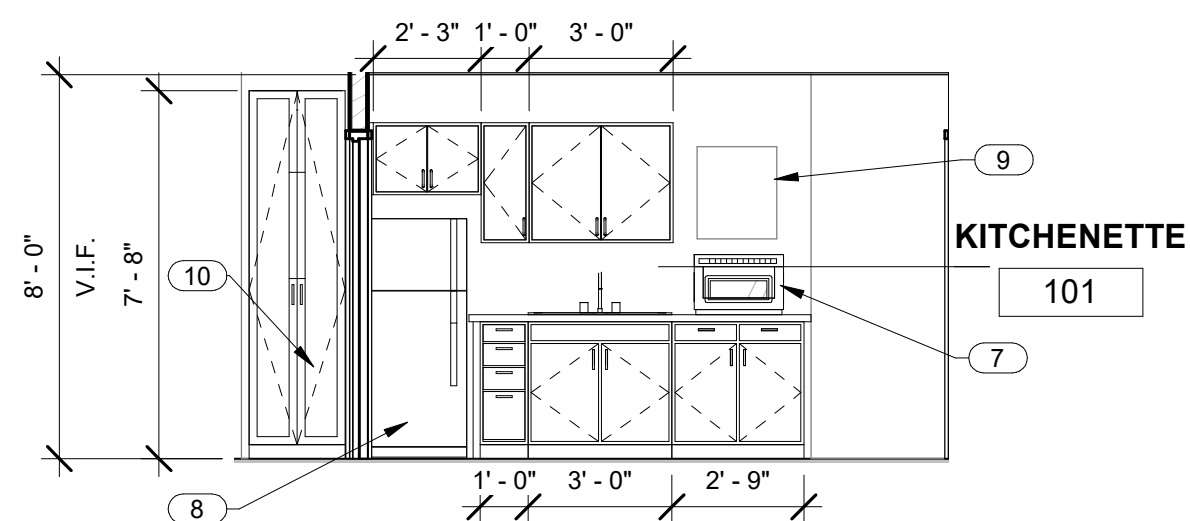
A300

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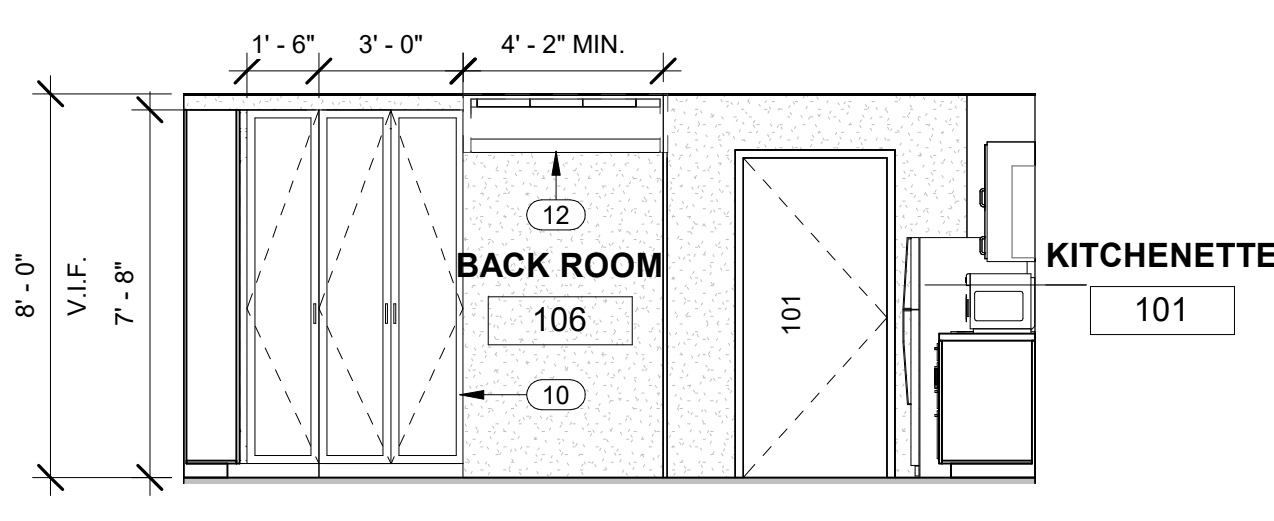
SCALE REFERS TO 24" X 36" PAPER SIZE



1 INTERIOR ELEVATION - VISITABLE MATERIALS
1/4" = 1'-0"



2 INTERIOR ELEVATION - PANTRY
1/4" = 1'-0"



6 BACK ROOM
1/4" = 1'-0"

GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

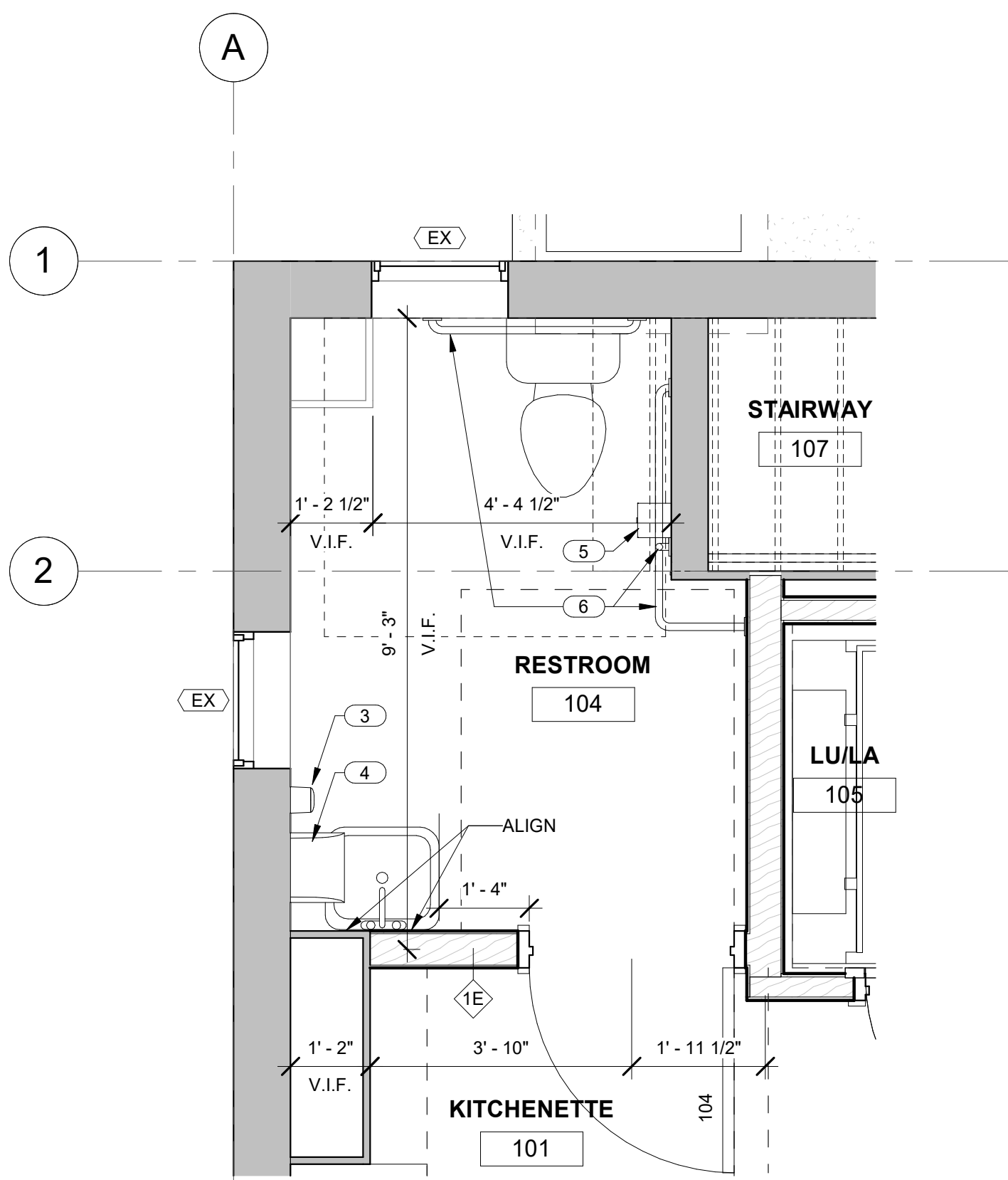
- 1. EXISTING FLOOR NEEDS REPAIRED
- 2. PROVIDE MANUF. REQUIRED CLEARANCE TO ACCOMMODATE LUL/LA MAST TIE BACK BRACKET
- 3. WALL MOUNTED SOAP DISPENSER
- 4. WALL MOUNTED PAPER TOWEL DISPENSER
- 5. WALL MOUNTED TOILET PAPER DISPENSER
- 6. GRAB BARS, REF. TO MOUNT. HT. LEGEND
- 7. SMALL SIZE MICROWAVE, TBD BY OWNER
- 8. SMALL SIZE REFRIGERATOR, TBD BY OWNER
- 9. RELOCATED ELECT. PANEL
- 10. NEW STORAGE CABINETS, DIMS WILL VARY ACCORD. TO WIDTH OF SHELVES
- 11. DISPLAY CASES, TYP.
- 12. WALL MOUNTED MINI-SPLIT AIR HANDLER



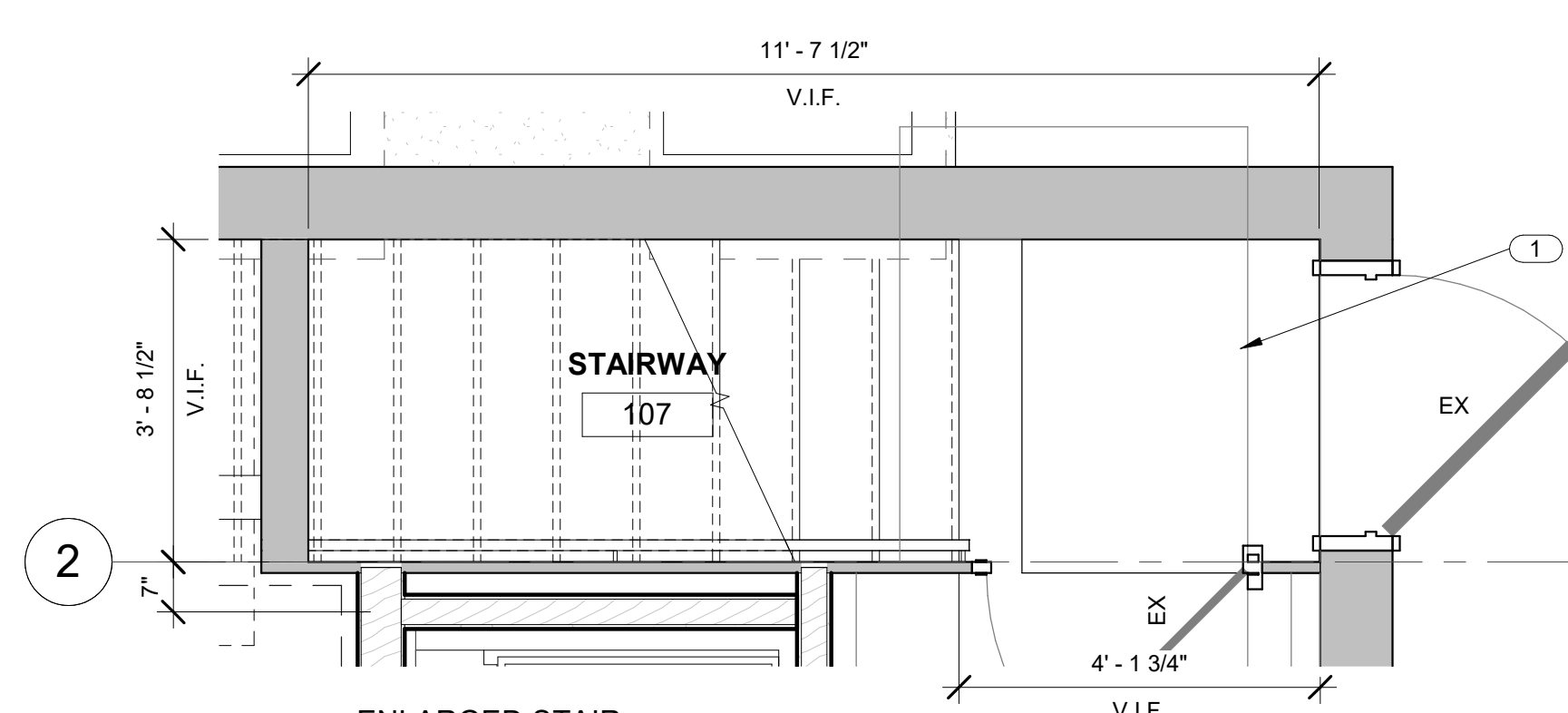
WHEELING, WV 53 14TH ST, S 607
MORGANTOWN, WV 88 HIGH STREET
SHEPHERDSTOWN, WV 122 E GERMAN STREET
EKINS, WV 102 THIRD STREET
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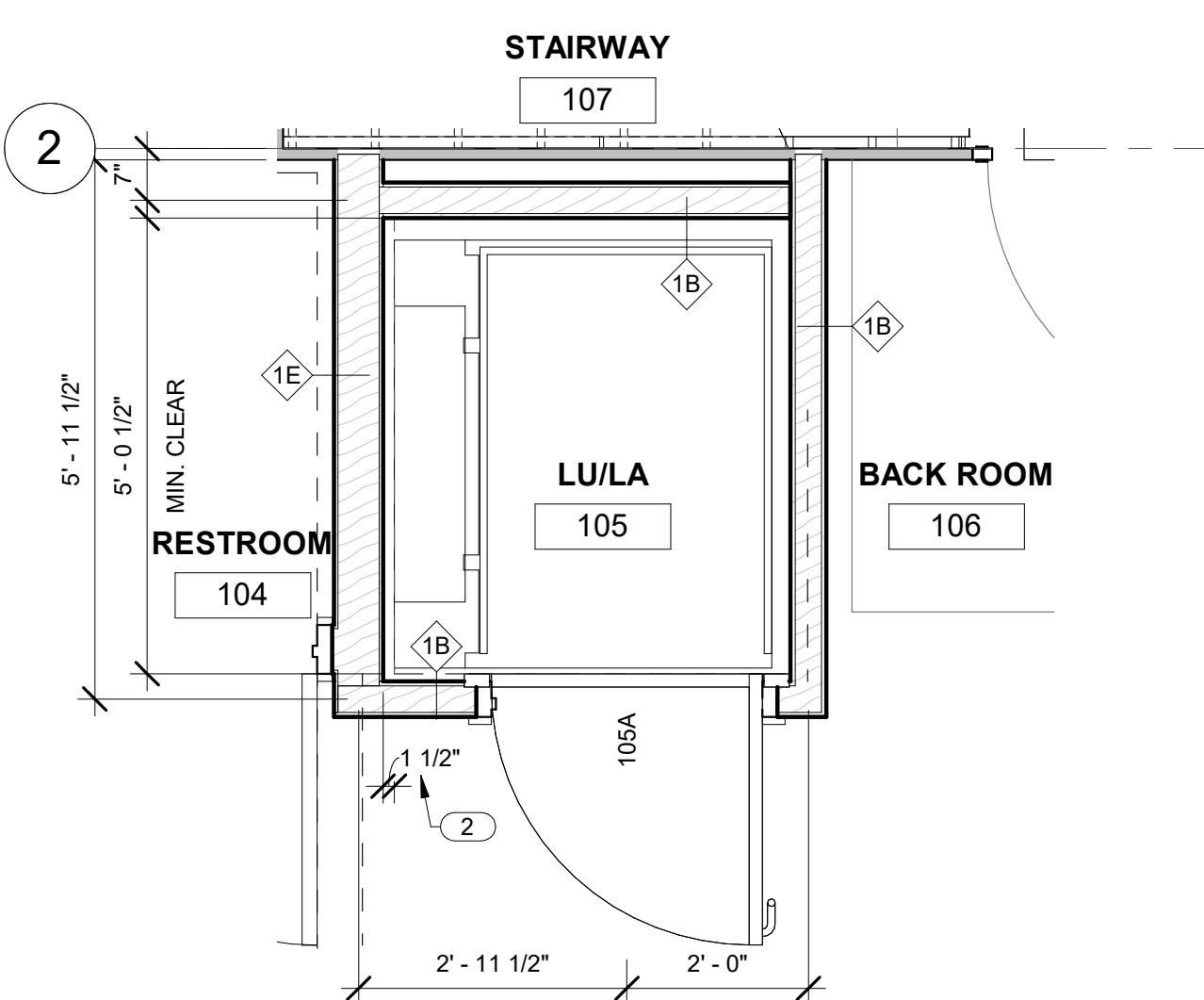
PROJECT:
MARKET HOUSE
100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
ENLARGED PLANS & ELEVATIONS



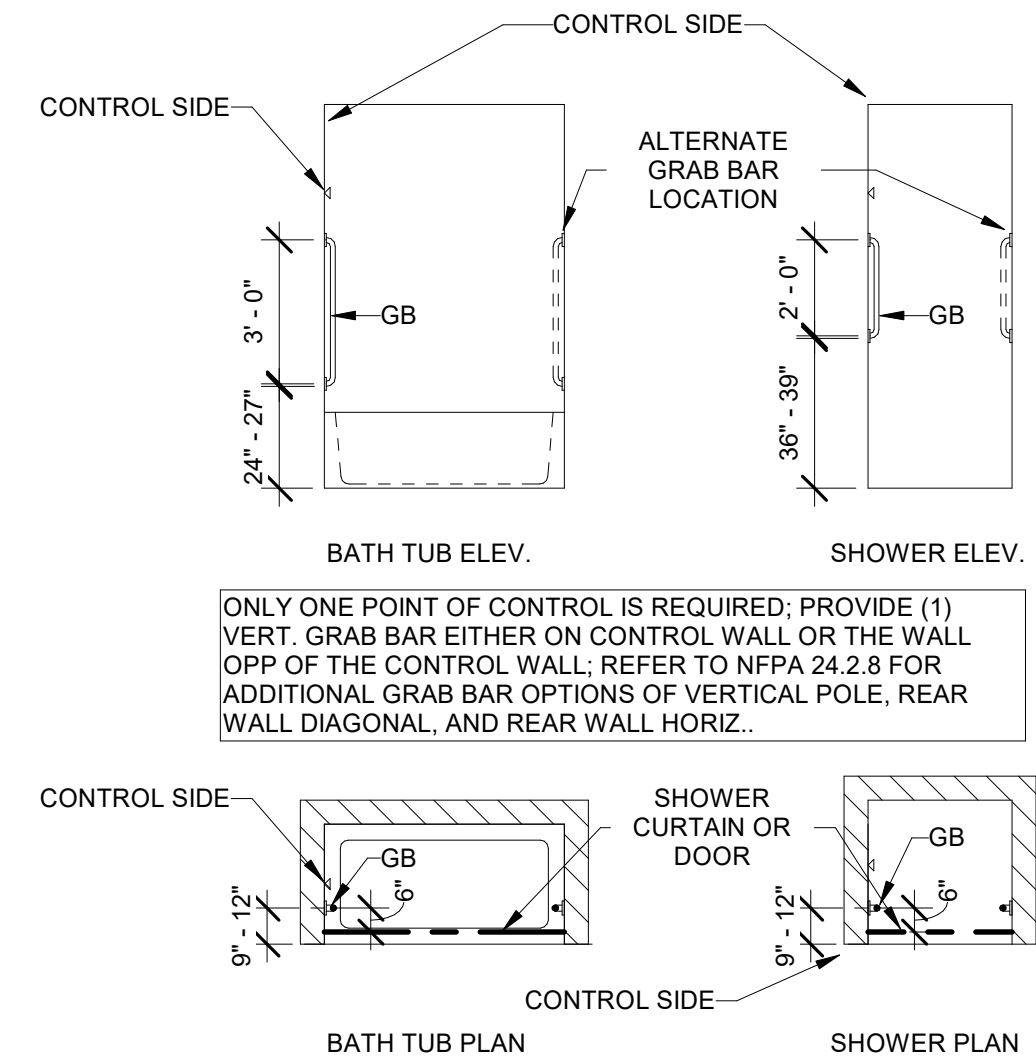
3 ENLARGED BATHROOM
1/2" = 1'-0"



4 ENLARGED STAIR
1/2" = 1'-0"



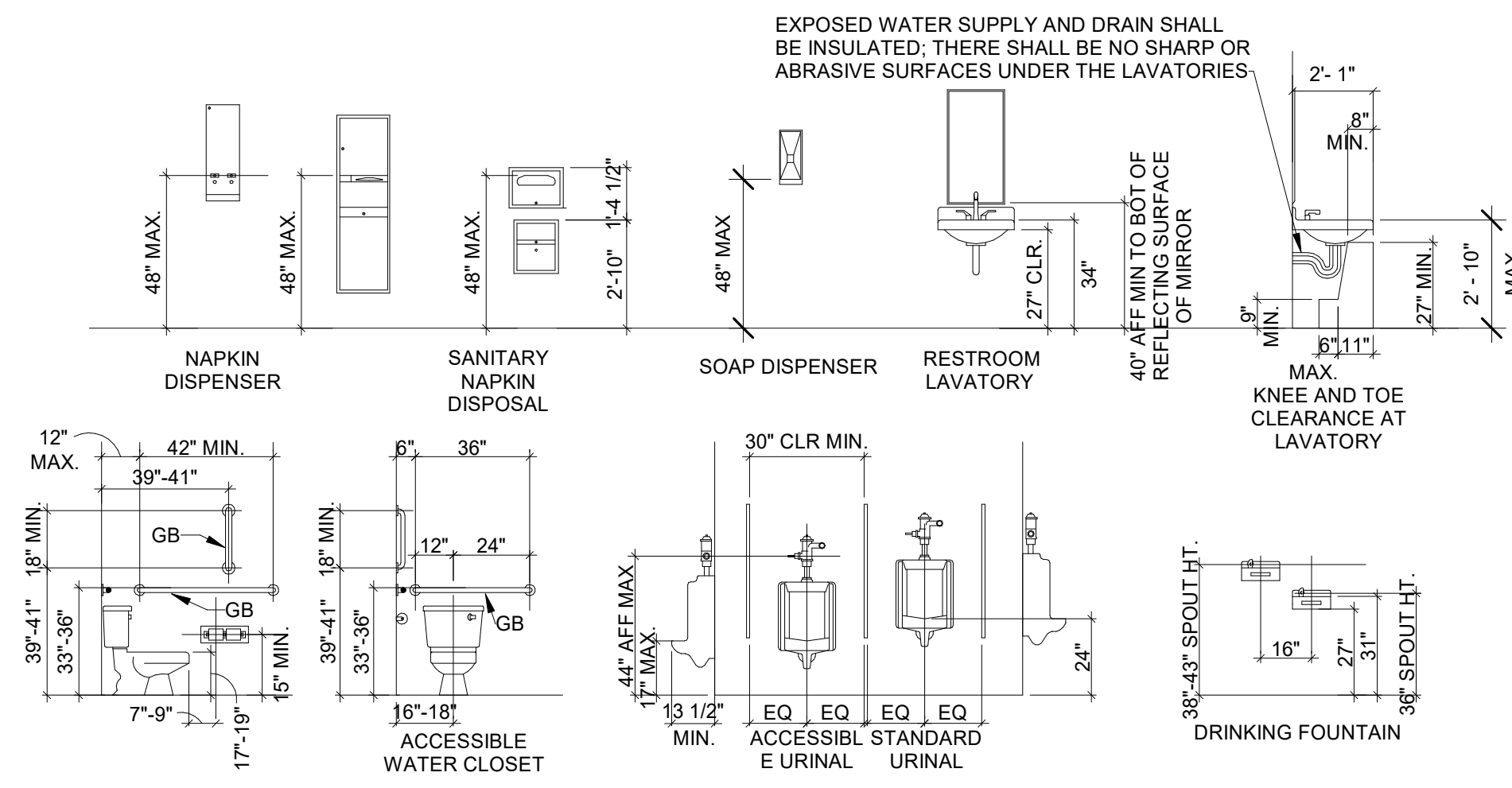
5 ENLARGED LIFT PLAN
1/2" = 1'-0"



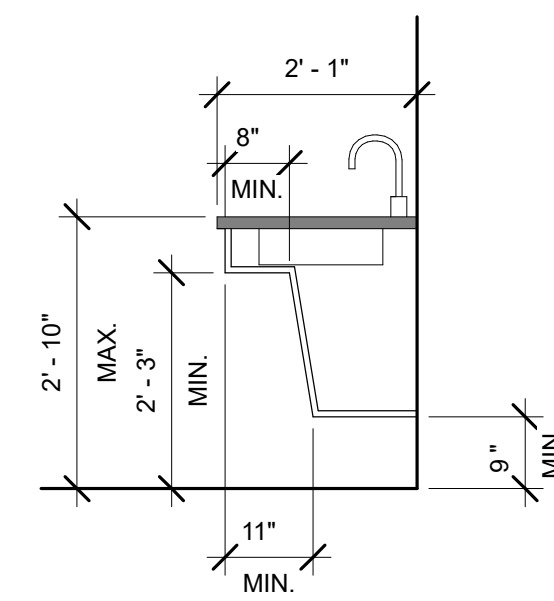
ONLY ONE POINT OF CONTROL IS REQUIRED; PROVIDE (1) VERT. GRAB BAR EITHER ON CONTROL WALL OR THE WALL OPP OF THE CONTROL WALL. REFER TO NFPA 24.2.8 FOR ADDITIONAL GRAB BAR OPTIONS OF VERTICAL POLE, REAR WALL DIAGONAL, AND REAR WALL HORIZ.

NFPA 24.2.8 - LIFE SAFETY GRAB BARS REQUIRED AT ALL NEW BATH TUBS, SHOWERS AND BATH / SHOWER COMBO UNITS; REFER TO CHAPTERS 12-32 FOR OCCUPANCY SPECIFIC GUIDELINES

TOILET ROOM MOUNTING HEIGHTS
1/4" = 1'-0"



EXPOSED WATER SUPPLY AND DRAIN SHALL BE INSULATED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE LAVATORIES.



Accessible Base Cabinet Mounting Detail
1/2" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

A400

Scale As indicated

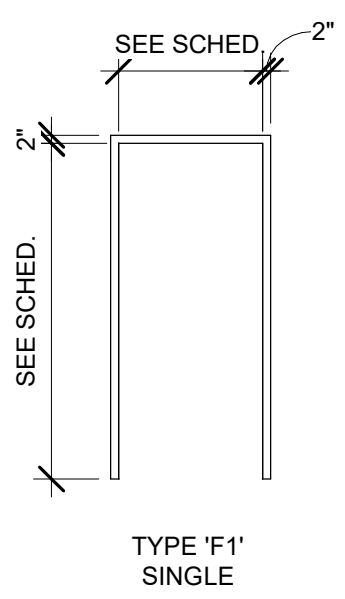
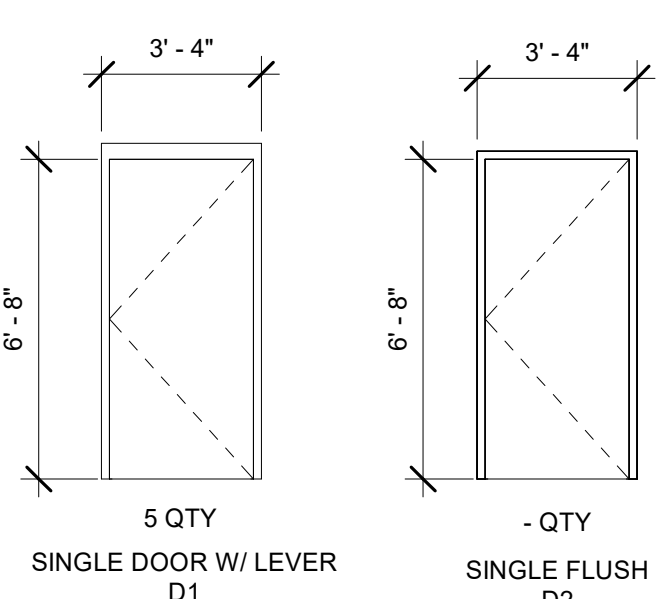
SCALE REFERS TO 24" X 36" PAPER SIZE

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CONSTRUCTION**

**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
DOOR AND FINISH SCHEDULE

DOOR & FRAME SCHEDULE

Number	From Room: Name	Width	Height	Door Type	Door Material	Door Finish	Frame Type	Frame Material	Frame Finish	Hardware Set	Fire Rating	Access Control	Comments
Existing													
LEVEL 1													
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	BACK ROOM	2' - 6"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	VISITOR AREA	7' - 5"	8' - 0"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
LEVEL 2													
EX	UPPER LOBBY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	MULTI-PURPO SE	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	UPPER LOBBY	2' - 6"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
New Construction													
LEVEL 1													
101	VISITOR AREA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
103	KITCHENETTE	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
104	RESTROOM	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
105A	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	
LEVEL 2													
105B	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	



- DOOR & FRAME ABBREVIATIONS**
- HM HOLLOW METAL
 - IHM INSULATED HOLLOW METAL
 - WD WOOD
 - PT PAINT
 - ST STAIN
 - ALU ALUMINUM
 - ANO ANODIZED
 - PVDF FLOUROPOLYMER

DOOR TYPES
1/4" = 1'-0"

DOOR FRAME TYPES
1/4" = 1'-0"

FINISH SCHEDULE

Level	Name	Number	Floor Finish	Base Finish	North Wall	East Wall	South Wall	West Wall	Ceiling Finish	Comments
LEVEL 1	RESTROOM	104								
LEVEL 1	STAIRWAY	107								
LEVEL 1	RESTROOM	103								
LEVEL 1	KITCHENETTE	101								
LEVEL 2	MULTI-PURPOSE	201								
LEVEL 2	STORAGE	202								
LEVEL 2	UPPER LOBBY	200								
LEVEL 1	VISITOR AREA	100								
LEVEL 1	LU/LA	105								
LEVEL 1	BACK ROOM	106								
Not Placed	STORAGE	102								

ITEM	TYPE	MANUFACTURER	NUMBER	DESCRIPTION
TILE				
TL-1	???	???	???	???
TL-2	???	???	???	???
TL-3	???	???	???	???
TL-4	???	???	???	???
TL-5	???	???	???	???
TL-6	???	???	???	???
CARPET				
CP-1	???	???	???	???
WOOD				
WD-1	???	???	???	???
VINYL COMPOSITION TILE				
VCT	???	???	???	???
PAINT				
PT-1	???	???	???	???
PT-2	???	???	???	???
PT-3	???	???	???	???
PT-4	???	???	???	???
STONE				
ST-1	???	???	???	???
BASE				
B-1	???	???	???	???

INTERIOR FINISH LEGEND
1/2" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

A600

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE


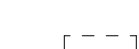
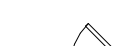

GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. REMOVE EXISTING CEILINGS AND LIGHT FIXTURES TO EXPOSE FLOOR JOISTS, UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. DEMO EXISTING CEILING AND LIGHT FIXTURES TO EXPOSE STRUCT. FLOOR JOISTS
- 2. SELECTIVE DEMO EXISTING FLOOR JOISTS AND PREP TO REFRAME A SHAFT OPENING SIZED TO ACCOMMODATE LULA AS SPECIFIED.

DEMO LEGEND

-  EXISTING TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN
-  DOOR TO BE DEMOLISHED

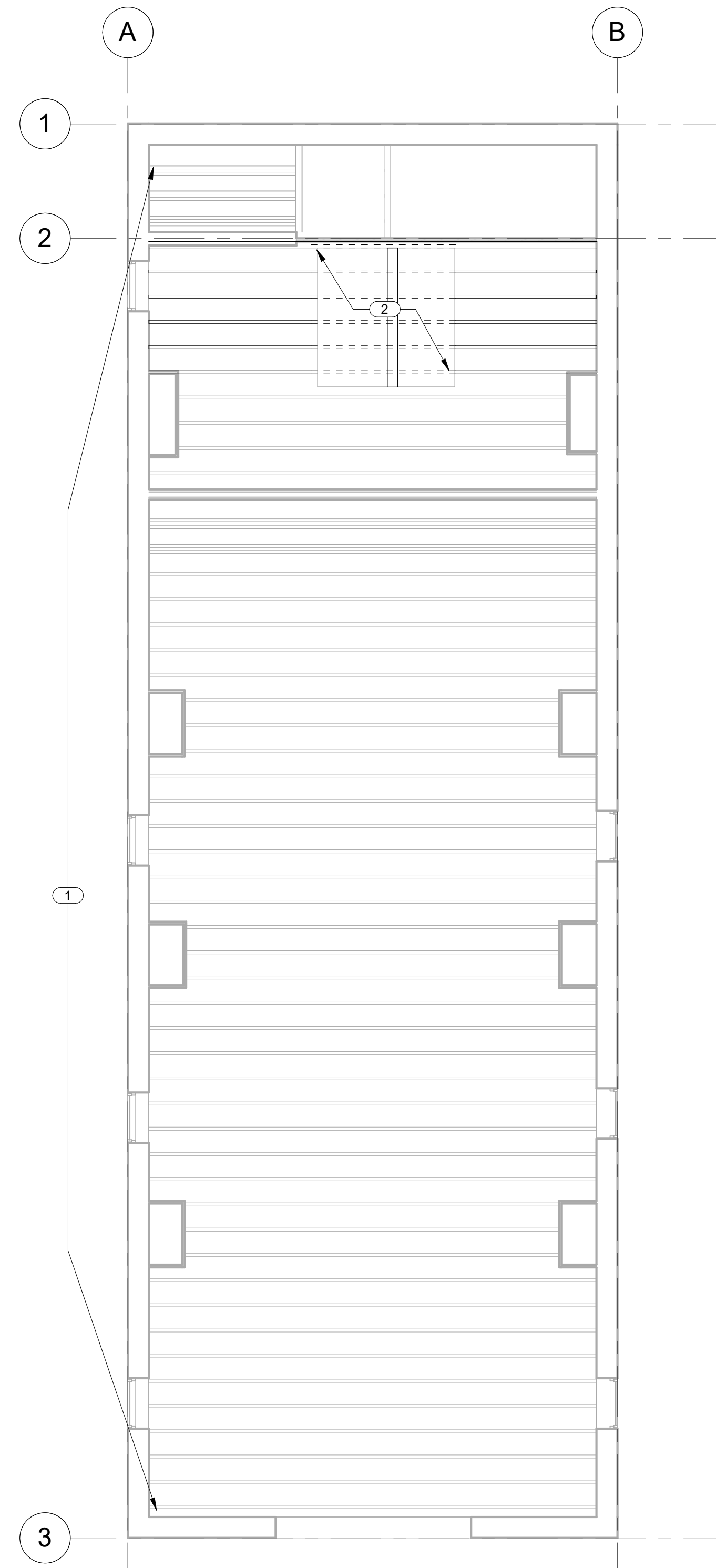
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PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

STRUCTURAL DEMOLITION



1 LEVEL 1 STRUCT RCP DEMO
1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

SD100

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

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- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. EXISTING FLOOR JOISTS TO BE SISTERED W/ 2X12'S EA. SIDE, TYP. CONTRACTOR TO CONSULT STRUCT. ENGINEER FOR CONNECTION REQ'MNTS.
- 2. OPTION TO REMOVE EXISTING FLOORING AND RE-LEVEL FLOOR W/ SISTERED 2X12'S EACH SIDE TO EX. FLOOR JOISTS PRIOR TO REPLACING EX. FLOOR.

**PRELIMINARY
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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
STRUCTURAL NEW WORK

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

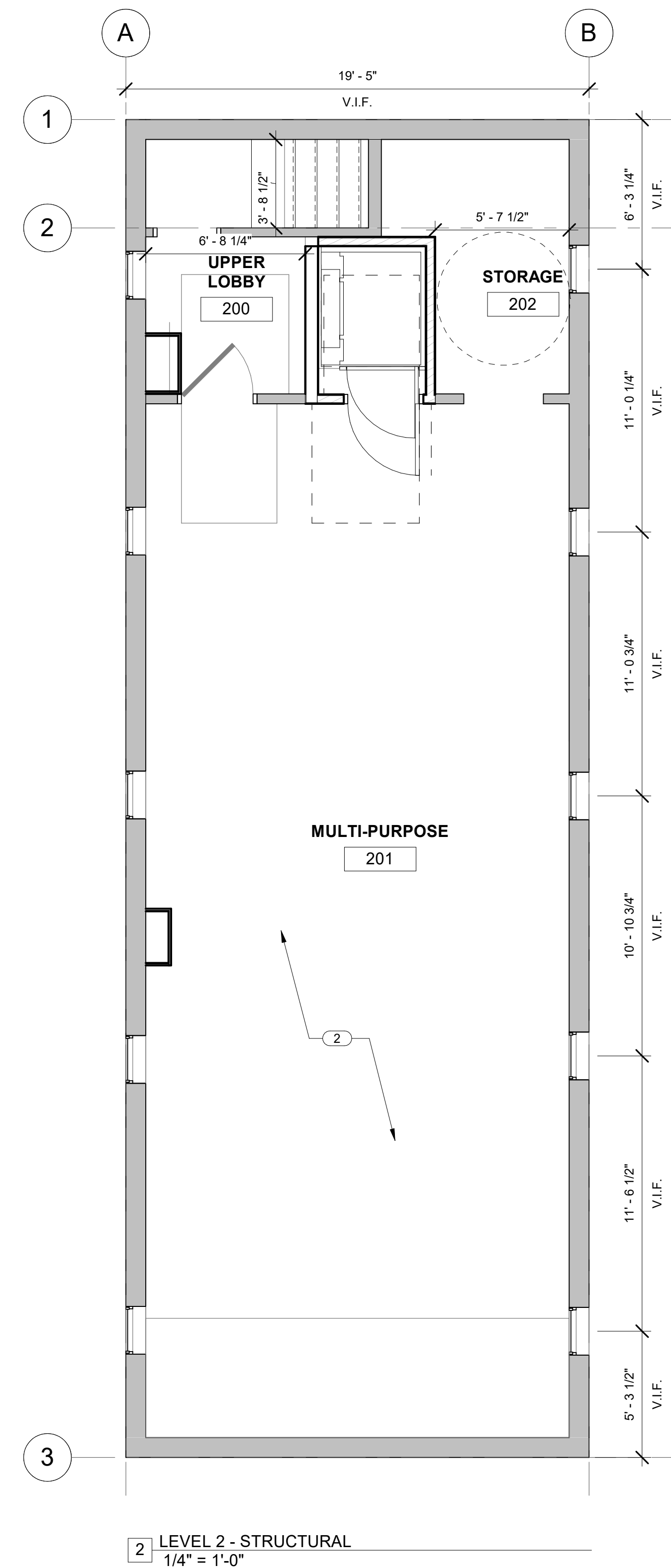
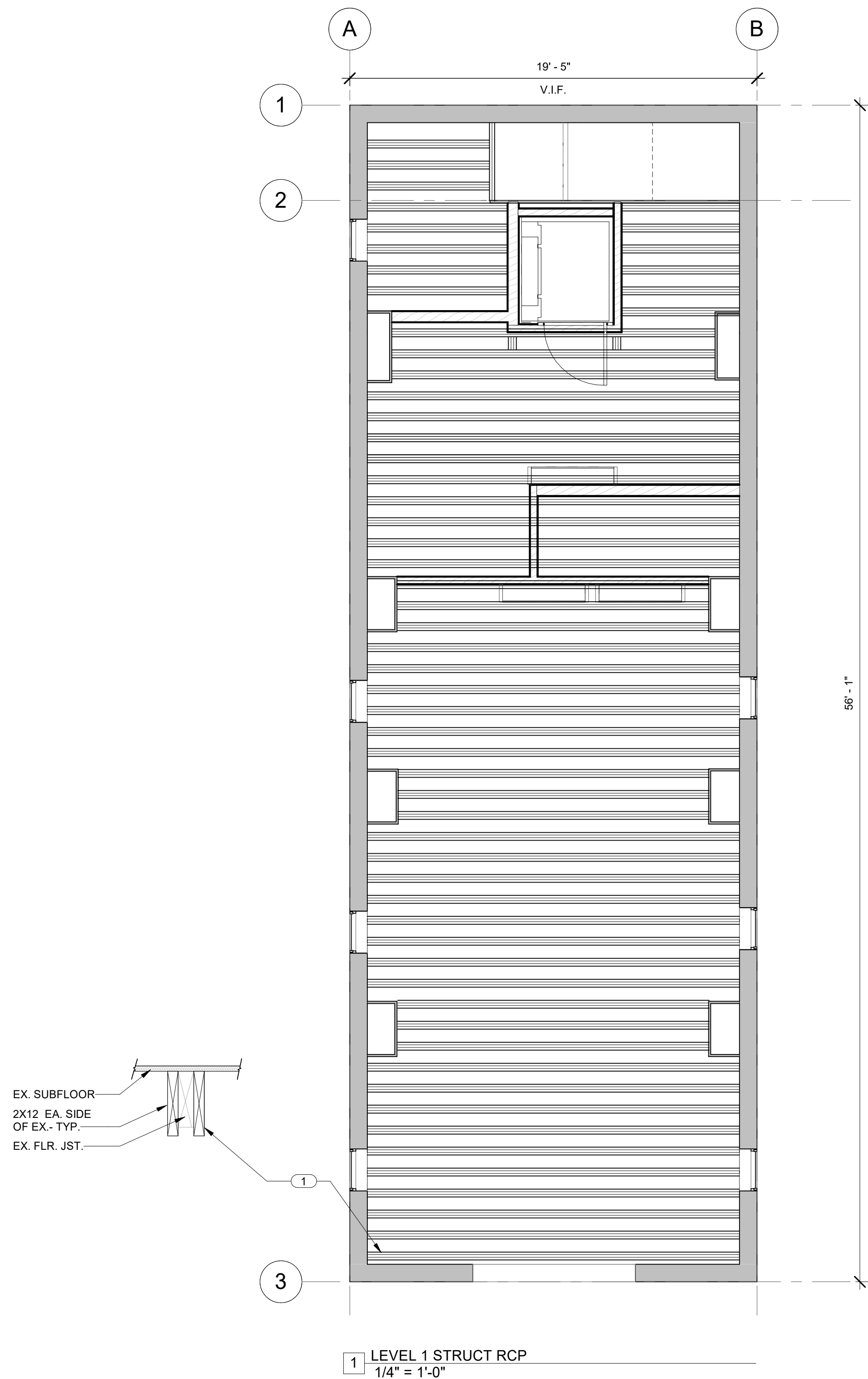
SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
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S100

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SCALE REFERS TO 24" X 36" PAPER SIZE



GENERAL NOTES

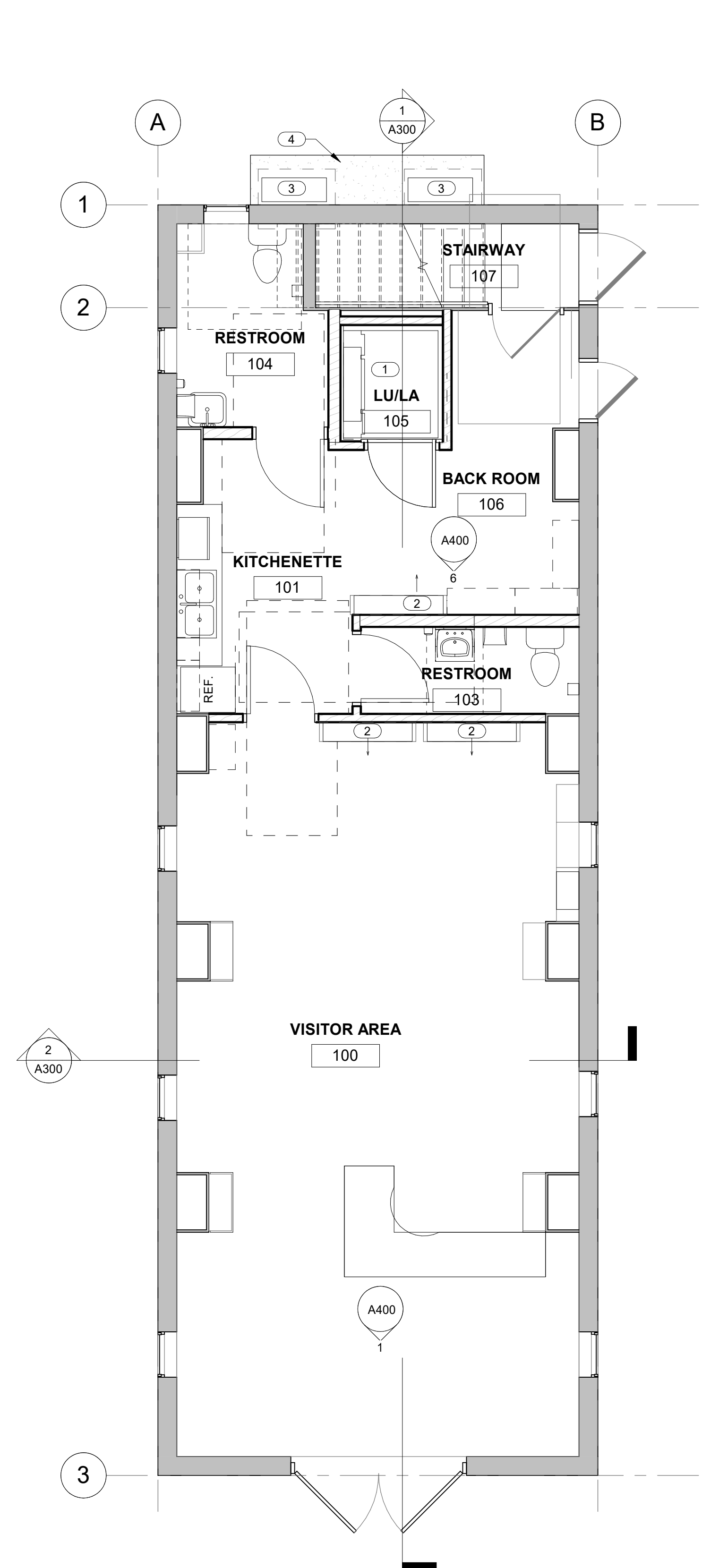
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KEYED NOTES

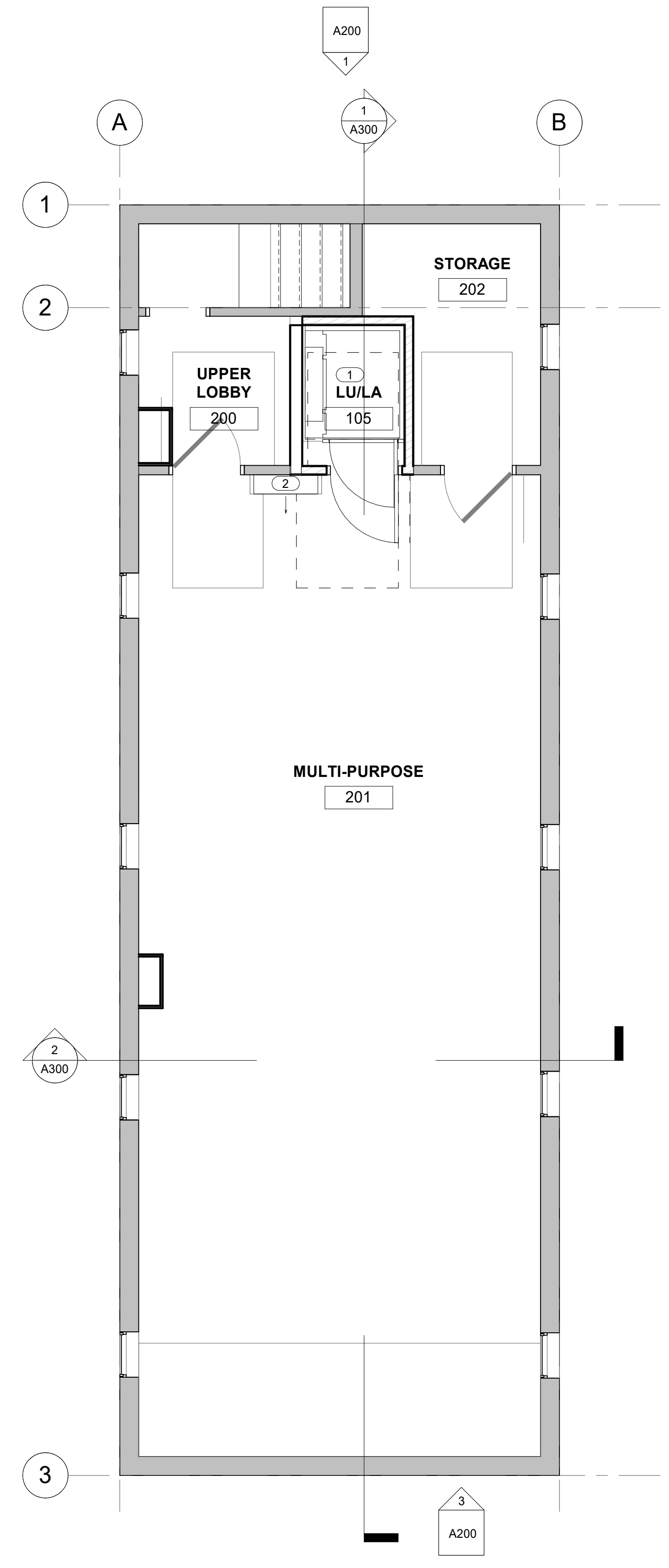
- 1. INSTALL NEW FLOOR MOUNTED GARAVENTA-GENESIS SHAFTWAY SW-360 LUL/LIFT FOR HANDICAP ACCESS TO SECOND FLOOR
- 2. DAIKIN MINI SPLIT AIR HANDLER MODEL FTX36NVJU
- 3. DAIKIN MINI SPLIT HEAT PUMP MODEL RX36NMVJUA(3 TON)
- 4. SOUND ABSORBING PAD W/ 6" SNOW LEGS, COORD. W/ MANUFACTURERS REQ/MNTS.

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**PROJECT:
MARKET HOUSE**
 100 EAST GERMAN ST.
 SHEPHERDSTOWN, WV 25443
 SHEPHERDSTOWN
MECHANICAL NEW WORK



1 LEVEL 1 - MEP NEW WORK
 1/4" = 1'-0"



2 LEVEL 2 - MEP NEW WORK
 1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

Drawn by Author

Checked by Checker

M001

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL NOTES

1. ALL EXISTING ELECTRICAL CIRCUITS TO BE UPGRADED TO MEET PREVAILING CURRENT ELECTRICAL CODES.
2. FINAL LOCATIONS OF OUTLETS TO BE DETERMINED BY OWNER/TENANT.

KEYED NOTES

1. RELOCATED C/T PANEL.
2. ABOVE COUNTER GFCI OUTLET, CENTERED 44" AFF.
3. COORD. ELECT. REQ'MENTS. W/ MANUF/MECHANICAL FOR NEW MINI-SPLIT SYSTEM.



WHEELING, WV 53 14TH ST, S 607
 MORGANTOWN, WV 88 HIGH STREET
 SHEPHERDSTOWN, WV 122 E GERMAN STREET
 ELKINS, WV 102 THIRD STREET

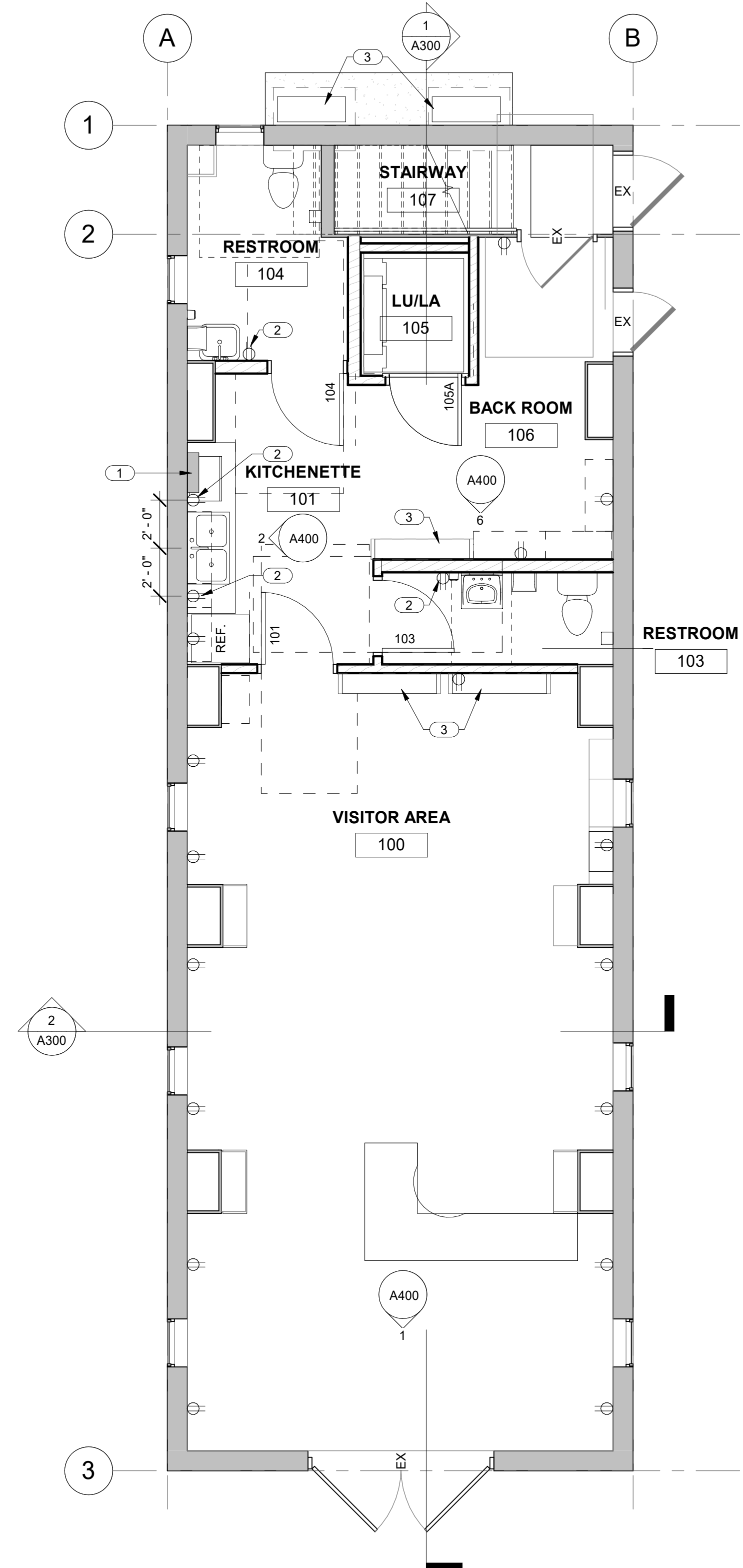
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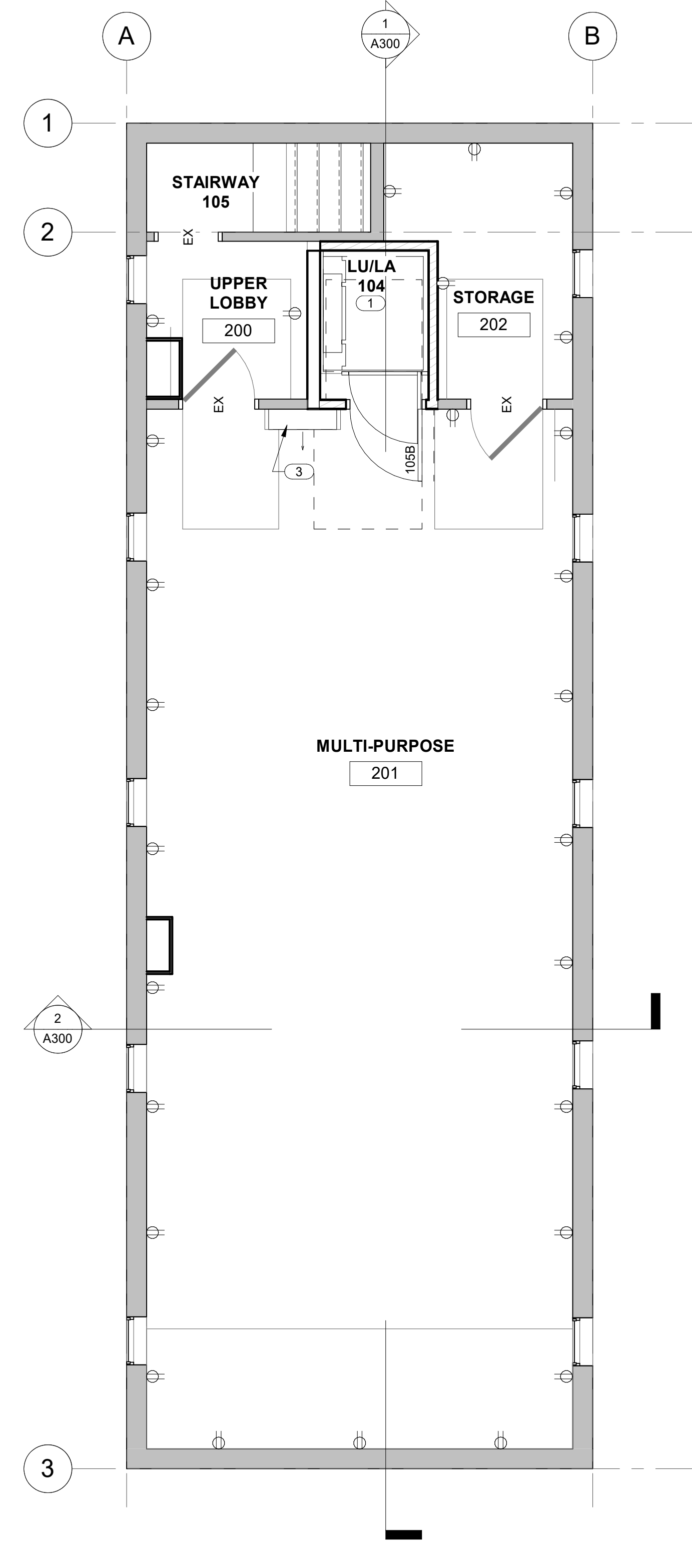
PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN
ELECTRICAL NEW WORK



1 LEVEL 1 - ELECTRICAL NEW WORK
1/4" = 1'-0"



2 LEVEL 2- ELECTRICAL NEW WORK
1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061
 Date 08-28-2023
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E100

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL NOTES

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- E.

KEYED NOTES

- 1. INSTALL NEW ADA TOILET
- 2. INSTALL ADA SINK
- 3. INSTALL NEW TOILET
- 4. INSTALL NEW SINK
- 5. INSTALL NEW KITCHENETTE SINK, SELECTION TBD BY OWNER

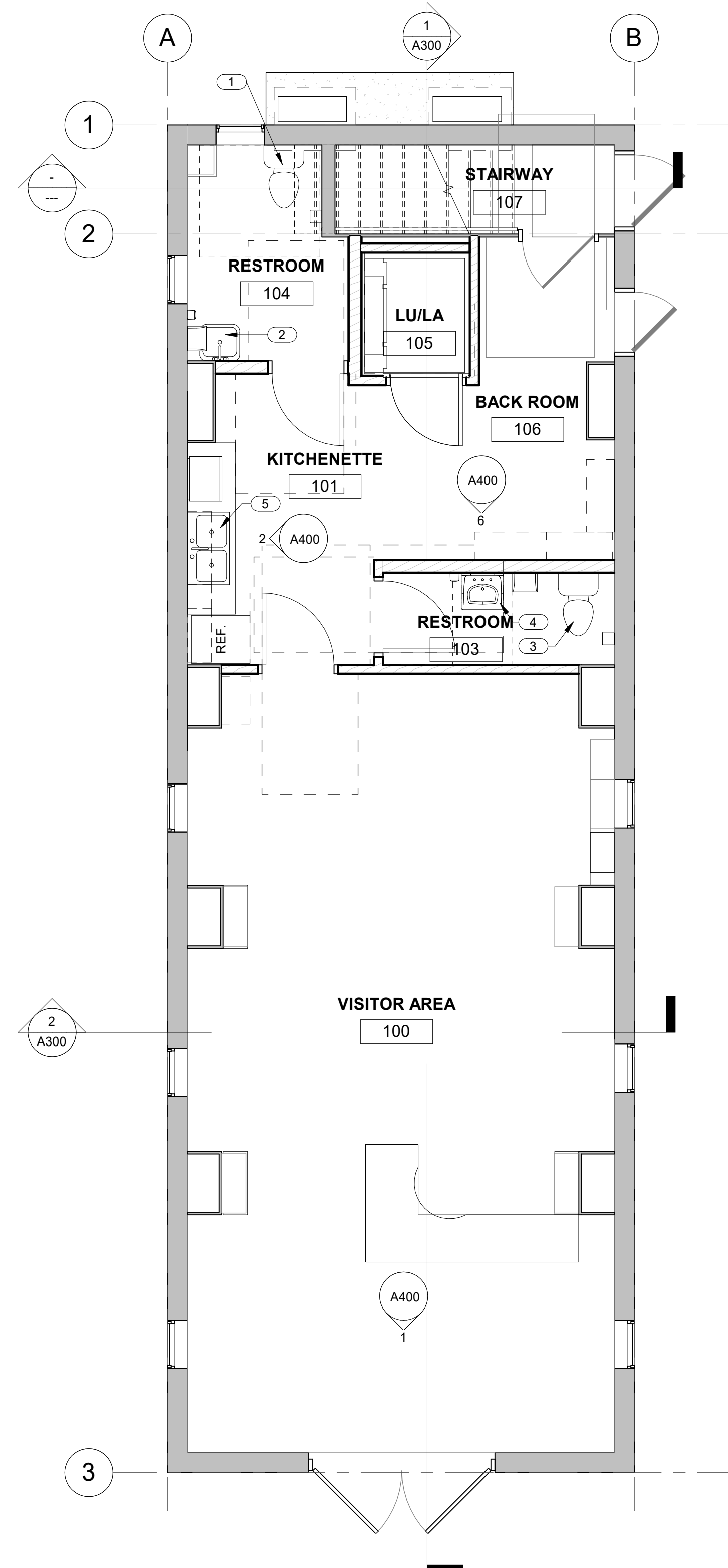
**PRELIMINARY
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CONSTRUCTION**

PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

PLUMBING NEW WORK



1 LEVEL 1 PLUMBING NEW WORK
1/4" = 1'-0"

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

Drawn by Author

Checked by Checker

P002

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE