

For “in-person” meetings, persons who are not on the agenda but wish to address the governing body must register to speak at least 15 minutes prior to the start of the meeting. For Zoom meetings, the Mayor will canvas attendees for those wishing to speak. Time limits will be imposed. Written comments and/or questions to be addressed at the meeting, must be submitted to jimauxer@yahoo.com 24 hours before the meeting. Requests for copies of documents related to agenda items must be made in writing at least 24 hours in advance of the meeting, not during the meeting. NOTE: Council members are elected to represent citizens of the Corporation of Shepherdstown, please contact them regarding any questions or comments you may have about the agenda items. This Council follows Robert’s Rules of Order (Revised).

**Special Town Council Agenda
Thursday, October 5, 2023
5:30 p.m.
Town Hall
104 North King Street**

**THE MEETING IS STREAMED ON THE TOWN’S FACEBOOK PAGE
“SHEPHERDSTOWN, WEST VIRGINIA”**

1. Call to Order
2. Market House drawings
3. Adjournment

MARKET HOUSE

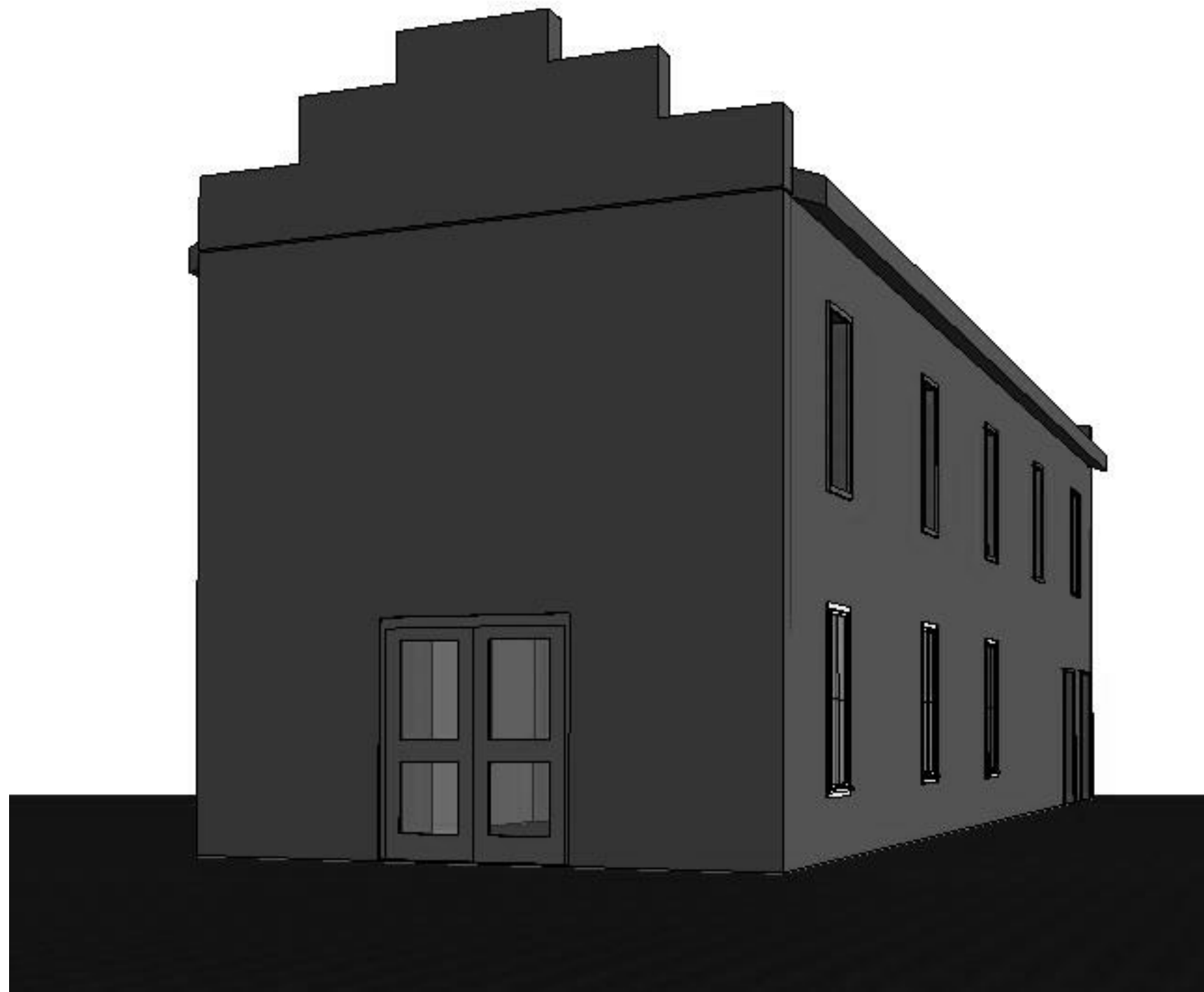
CONSULTANTS:

STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL:

NAME
ADDRESS
ADDRESS

SITE/CIVIL:

NAME
ADDRESS
ADDRESS



SHEET LIST	
Sheet Number	Sheet Name
CS	COVER SHEET
G001	ABBREVIATIONS/SYMBOLS
G002	COMMERCIAL NOTES
G010	LIFE SAFETY
G020	ADA STANDARDS
G021	ADA STANDARDS
G040	PARTITION TYPES AND DETAILS
D100	LEVEL 1 - DEMOLITION
D101	LEVEL 2 - DEMOLITION
A100	LEVEL 1 PLAN
A102	LEVEL 2 PLAN
A110	REFLECTED CEILING PLAN - LEVEL 1
A200	ELEVATIONS
A300	SECTIONS
A400	ENLARGED PLANS & ELEVATIONS
A600	DOOR AND FINISH SCHEDULE
SD100	STRUCTURAL DEMOLITION
S100	STRUCTURAL NEW WORK
M001	MECHANICAL NEW WORK
P002	PLUMBING NEW WORK
E100	ELECTRICAL NEW WORK

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT:
MARKET HOUSE
100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
COVER SHEET



SITE

LOCATION PLAN



SITE

VICINITY MAP

NOTE: SEE LS SHEETS FOR CODE DATA AND LIFE SAFETY INFORMATION

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
SCHEMATIC DESIGN		
Project number	23-061	
Date	08-28-2023	
Drawn by	Author	
Checked by	Checker	
CS		
Scale		
SCALE REFERS TO 24" X 36" PAPER SIZE		

SYMBOLS/LEGEND

	SECTION VIEW NUMBER SHEET NUMBER
	SEE ENLARGED DETAIL VIEW VIEW NUMBER SHEET NUMBER
	BUILDING ELEVATION VIEW NUMBER SHEET NUMBER
	INTERIOR ELEVATION VIEW NUMBER SHEET NUMBER
	DATUM ELEVATION
	SPOT ELEVATION
	ROOM NAME ROOM NUMBER
	WALL TYPES
	WINDOW NUMBER
	DOOR NUMBER
	KEYED NOTES
	MATERIAL / FINISH ID
	ASSEMBLY / EQUIPMENT TAG
	REVISION NUMBER
	EXISTING DOOR
	EXISTING OPENING, NEW DOOR ASSEMBLIES
	NEW DOOR
	NEW PARTITION
	EXISTING CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE REMOVED

MATERIALS

	EARTH		GRAVEL
	CMU BLOCK		BRICK
	RIGID INSULATION		BATT INSULATION
	DENSGLOSS / DENSDECK		PLASTER / MORTAR / GYPSUM BOARD
	PLYWOOD / OSB		CONCRETE
	GLASS		WOOD FRAMING / BLOCKING
	STEEL / METAL		MORTAR NET / COMPRESSIBLE FOAM

ABBREVIATIONS

A AFF AFS AC DR AC ACB ACT AC PNL AC WP ADD ADH ADJT A/C AHU ALT. ALUM. A.B. ANCH ANOD & APPROX ARCH ASP ASF @ AVG	ABOVE FINISHED FLOOR ABOVE FLOOR SLAB ACCESS DOOR ACOUSTIC(AL) ACOUSTICAL BAFFLE ACOUSTICAL TILE ACOUSTICAL PANEL ACOUSTICAL WALL PANEL ADDENDUM ADHESIVE ADJUSTABLE (MENT) AIR CONDITIONING AIR HANDLING UNIT ALTERNATE ALUMINUM ANCHOR BOLT ANCHOR ANODIZE AND APPROXIMATE (LY) ARCHITECT(URAL) ASPHALT ABOVE SUBFLOOR AT AVERAGE	E EA E ELEC F ELEV EMER ENCL EQ EXH EXIST EJ EXP EXT	EACH EAST ELECTRIC (AL) ELEVATION ELEVATOR EMERGENCY ENCLOSE (URE) EQUAL EXHAUST EXISTING EXPANSION JOINT EXPOSED EXTERIOR	L LBL LAB LAM LAV LH LT LT WT LF LL LP LVR L LUM	LABEL LABORATORY LAMINATE (D) LAVORATORY LEFT HAND LIGHT LIGHT WEIGHT LINEAR FOOT LIVE LOAD LOW POINT, LOW PRESSURE LOUVER LOCKER LUMINOUS	R con't RH RHR ROW R RF RFG RD RM RO RND RBR RT	RIGHT HAND RIGHT HAND REVERSE RIGHT OF WAY RISER ROOF ROOFING ROOF DRAIN ROOM ROUGH OPENING ROUND RUBBER RUBBER TILE
B BSMT. BM BRG B.P.L. BEL B.M. BET BFFM BIT BLK BD BW BOT BC BRKT BRK BLDG BLKHD BUR	BASEMENT BEAM BEARING BEARING PLATE BELOW BENCH MARK BETWEEN BEVELED FRAME FLOOR MAT BITUMINOUS BLOCK(ING) BOARD BOTH WAYS BOTTOM BOTTOM CURB BRACKET BRICK BUILDING BULKHEAD BUILT UP ROOFING	F FWC FOS F FCU FAS FGL FIN FFE FA FE FEC FER FHC FR FP FLG FL FD FLUOR FP PTN FT FTG FND FS FURR FUT	FABRIC WALL COVERING FACE OF STUDS FAHRENHEIT FAN COIL UNIT FASTEN (ER) FIBERGLASS FINISH (ED) FINISH FLOOR ELEVATION FIRE ALARM FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER RECESS FIRE HOSE CABINET FIRE RATED FIREPROOF(ING) FLASHING FLOOR (ING) FLOOR DRAIN FLOURESCENT FOLDING PANEL PARTITION FOOT (FEET) FOOTING FOUNDATION FULL SIZE FURRING FUTURE	M MACH MH MFR MAR. MB MAS MO MR MATL MAX MECH MEMB MTL MTP MEZZ MWK MIN MR MISC MOD MB MTD MOV MULL	MACHINE MANHOLE MANUFACTURE MARBLE MARKER BOARD MASONRY MASONRY OPENING MOISTURE RESISTANT MATERIAL(S) MAXIMUM MECHANIC(AL). MEBRANE METAL METAL TOILET PARTITION MEZZANINE MILLWORK MINIMUM(S) MIRROR MISCELLANEOUS MODULAR MOISTURE BARRIER MOUNT (ED), (ING) MOVABLE MULLION	S SND SNR SCHED STG SECT SHTH. SH SM SHLVG SHR SIM SL SC S SAB SP SPEC SF CMU SQ SS STD STL STOR SD STRUCT SFT SUBFL SURF SUSP SYM SYS	SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTALCE SCHEDULE SEATING SECTION SHEATHING SHEET SHEET METAL SHELVING SHOWER SIMILAR SLATE SOLID CORE SOUTH SOUND ATTENUATION BLANKET SPANDREL SPECIFICATION SPLIT FACE CMU SQUARE STAINLESS STEEL STANDARD(S) STEEL STORAGE STORM DRAIN STRUCTURAL STRUCTURAL GLAZED TILE SUBFLOOR SURFACE SUSPEND(ED) SYMMETRY or SYMBOL SYSTEM
C CAB CPT CSMT CI CLKG CLG. CEM. CL CER CT CMT CBD C CR CO CLR CL COL COMB COMP CO CONC CMU CONST CONT CLL CJ COP CG CORR CTR CSK CFT CYD CUST	CABINET CARPET CASEMENT CAST IRON CAULKING CEILING CEMENT CENTER LINE CERAMIC CERAMIC TILE CERAMIC MOSAIC TILE CHALKBOARD CHANNEL CLASSROOM CLEAN OUT CLEAR (ANCE), COLOR CLOSET COLUMN COMBINATION COMPACT(ED) COMPANY CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS CONTRACT LIMIT LINE CONTROL JOINT COPPER CORNER GAURD CORRIDOR COUNTER COUNTERSUNK CUBIC FOOT CUBIC YARD CUSTODIAN	G GALV GI GA GEN GC GL GB GR GYP GWB	GALVANIZED GALVANIZED IRON GAGE, GAUGE GENERAL GENERAL CONTRACT (OR) GLASS, GLAZING GRAB BAR GRADE GYPSUM GYPSUM WALLBOARD	N NF N NTD NIC NTS NO NOM	NATURAL FINISH NORTH NOTED NOT IN CONTRACT NOT OT SCALE NUMBER NOMINAL	I TEL TV TEMP TC TER THK THRESH TP T&G TF TSL TS TW TWB T TYP	TELEPHONE TELEVISION TEMPERED TERRA COTTA OR TOP CURB TERRAZZO THICK (NESS) THRESHOLD TOILET PAPER DISPENSER TONGUE & GROOVE TOP OF FOOTING TOP OF SLAB TOP OF STEEL TOP OF WALL TOWEL BAR TREAD TYPICAL
D DP DEPT DL DIAG DIAM DIM DISP DIV DR DBL DH DN DS DWR DWG DF	DAMPROOFING DEPARTMENT DETAIL DIAGONAL(LY) DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOUBLE HUNG DOWN DOWNSPOUT DRAWER DRAWING DRINKING FOUNTAIN	H HC HNDRL HDW HWD HT HTG HDR HVAC HD HP HC HM HOR H.B. HWH HR	HANDICAP/ HOLLOW CORE HANDRAIL HARDWARE HARDWOOD HEIGHT HEATING HEATER HEATING/VENTILATION/AIRCONDITIONING HEAVY DUTY HIGH POINT, HIGH PRESSURE HOLLOW CORE HOLLOW METAL HORIZONTAL HOSE BIB HOT WATER HEATER HOUR	O OFF OC OPG OPP OH OD OA	OFFICE ON CENTER OPENING OPPOSITE OPPOSITE HAND OUTSIDE DIAMETER OVERALL	U UL UNF UON UR US U/V UTS	UNDERWRITER'S LAB, INC/ UNDERLAYMENT UNFINISHED UNLESS OTHERWISE NOTED URINAL URINAL SCREEN UNIT VENTILATOR UTILITY SHELF
P PT PTD PR PNL PTDP PTR PB PTN PVG PERF PSF PSI PLAS PLAM PL POL PLYWD PS PVA PVC PE PF PC		I IN INC INCL ID INSUL IRMA INT INV	INCH INCOMPLETE INCLUDE (D), (ING) INSIDIE DIAMETER INSULATE (D), (ION) INSULATED ROOF MEMBRANE ASSEMBLY INTERIOR INVERT	P PT PTD PR PNL PTDP PTR PB PTN PVG PERF PSF PSI PLAS PLAM PL POL PLYWD PS PVA PVC PE PF PC	PAINT PRESSURE TREATED PAIR PANEL PAPER TOWEL DISPENSER PAPER TOWEL RECEPTACLE PARTICLE BOARD PARTITION PAVING PERFORATE(D) PER SQUARE FOOT PER SQUARE INCH PLASTER PLASTIC LAMINATE PLATE POLISHED PLYWOOD PROJECTION SCREEN POLYVINYL ACETATE POLYVINYL CHLORIDE PORCELAIN ENAMEL POROUS FILL PRECAST	V VB VAR VERT VEST VCT VIF VWC	VAPOR BARRIER VARIES VERTICAL(LY) VESTIBULE VINYL COMPOSITION TILE VERIFY IN FIELD VINYL WALL COVERING
Q QT		J JC JT JST	JANITOR'S CLOSET JOINT JOIST	Q QT	QUARRY TILE	W WSCT WH WC WP WR WT. WWF W WB WF WIN W/ W/O WD WP	WAINSCOT WALL HUNG/WALL HYDRANT WATER CLOSET WATERPROOF WATER RESISTANT WEIGHT WELDED WIRE FABRIC WEST/WIDE/WIDTH WHITE BOARD WIDE FLANGE WINDOW WITH WITHOUT WOOD WORKING POINT
R RAD RP RL RECEP RFM RFL REFRIG REG REINF RH REQD RES RT RET RA REV		K KIT KDN K/O	KITCHEN KNOCKDOWN KNOCK OUT	R RAD RP RL RECEP RFM RFL REFRIG REG REINF RH REQD RES RT RET RA REV	RADIUS RADIANT HEAT PANEL RAIN LEADER RECEPTABLE RECESSED FLOOR MAT REFLECT(ED)(IVE)(OR) REFRIGERATOR REGISTER REINFORCE(D), (ING) RELATIVE HUMIDITY REQUIRED RESILIENT RESILIENT TILE RETURN RETURN AIR REVISION(S), (ED)	Y YD	YARD



WHEELING, WV

MORGANTOWN, WV

SHEPHERDSTOWN, WV

EKINS, WV

53 14TH ST, S 607

88 HIGH STREET

122 E GERMAN STREET

102 THIRD STREET

WWW.MILLSGROUPONLINE.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

ABBREVIATIONS/SYMBOLS

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

G001

Scale12" = 1'-0"

SCALE REFERS TO 24" X 36" PAPER SIZE

PROJECT: MARKET HOUSE

100 EAST GERMAN STREET
SHEPHERDSTOWN, WV 25351

SHEPHERDSTOWN

SCALE REFERS TO 24" X 36" PAPER SIZE

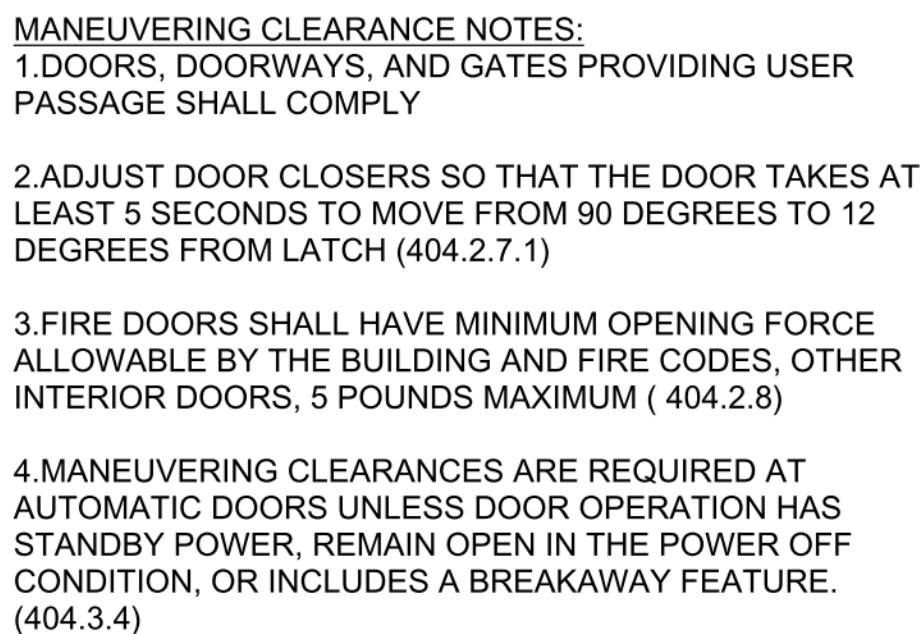


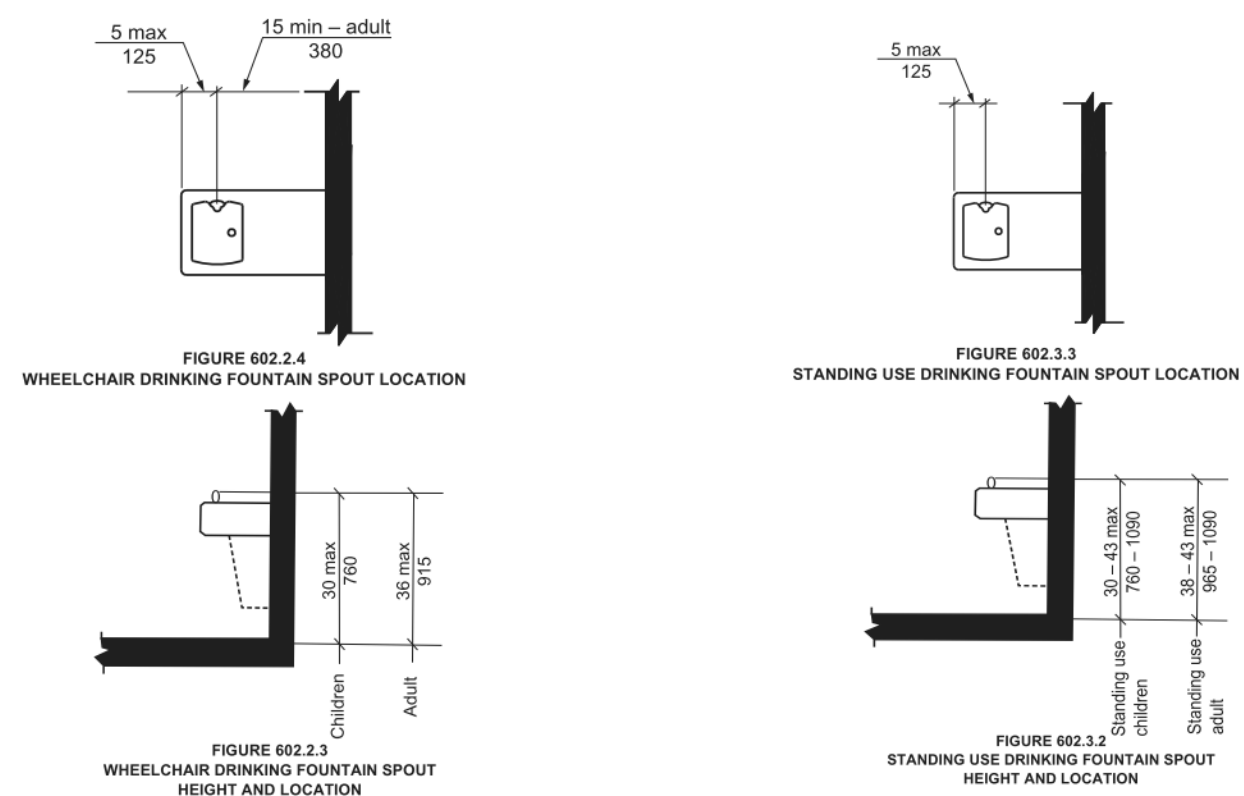
FIGURE 306.2(A)
TOE CLEARANCE - ELEVATION

KNEE AND TOE CLEARANCES

8. INSTALL GRAB BARS TO WITHSTAND NOT LESS THAN A 250 POUND FORCE APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE(609.8)



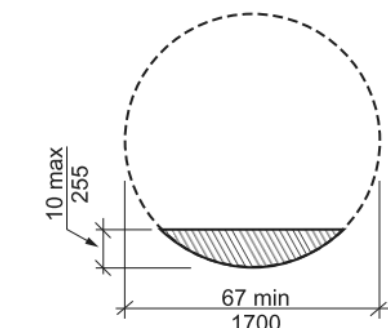
DRINKING FOUNTAIN
Ref. Sections 602



CLEAR FLOOR SPACE NOTES:
1.DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES (304.4)

2.ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER CLEAR FLOOR SPACE (305.6)

3.A CLEAR FLOOR SPACE IS REQUIRED AT ANY DEVICE WITH AN OPERABLE PART (309.2)



Overlap of knee and toe clearance
FIGURE 304.3.1.1
CIRCULAR TURNING SPACE - NEW BUILDINGS
SIZE AND OVERLAP

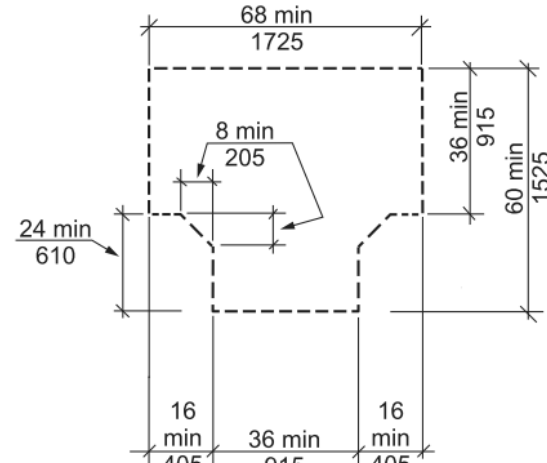


FIGURE 304.3.2.1(A)
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 1

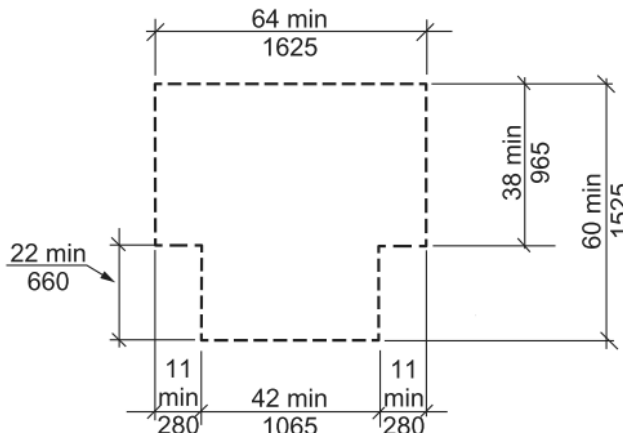


FIGURE 304.3.2.1(B)
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 2

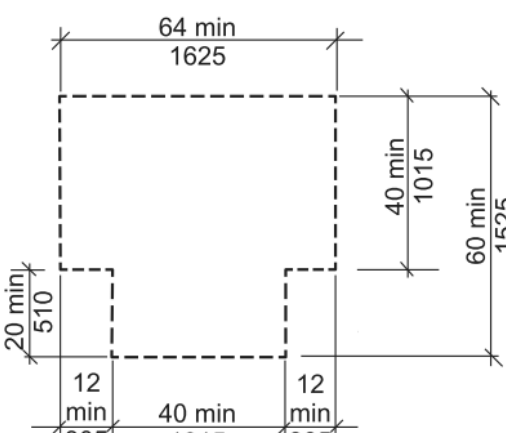


FIGURE 304.3.2.1(C)
T-SHAPED TURNING SPACE
NEW BUILDINGS - OPTION 3

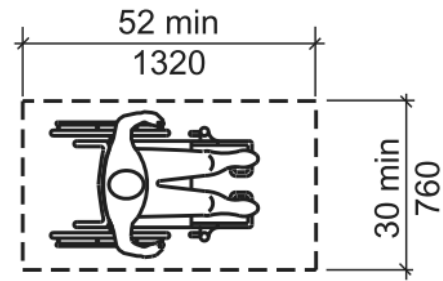


FIGURE 305.3.1
SIZE OF CLEAR FLOOR SPACE - NEW BUILDINGS

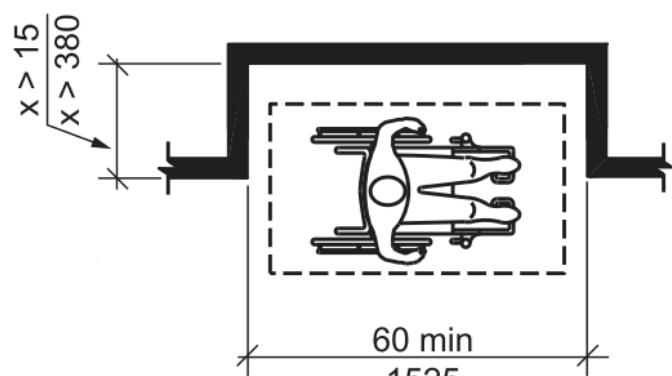


FIGURE 305.7.1
MANEUVERING CLEARANCE IN AN ALCOVE
PARALLEL APPROACH

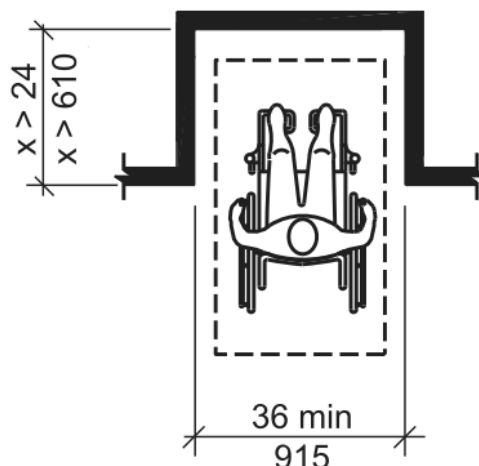


FIGURE 305.7.2
MANEUVERING CLEARANCE IN AN ALCOVE
FORWARD APPROACH

MINIMUM CLEAR FLOOR SPACE

Ref. Sections 304 & 305

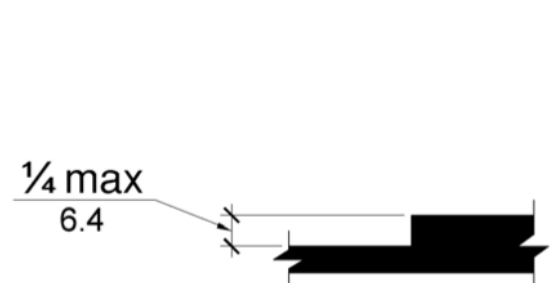


Figure 303.2
Vertical Change in Level

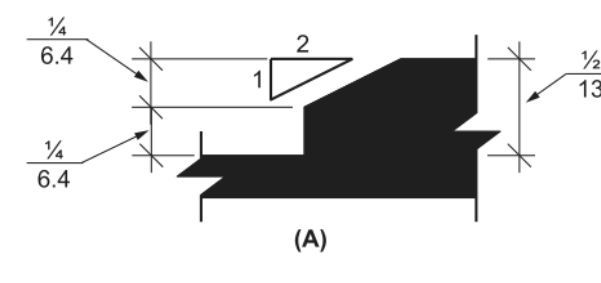


FIGURE 303.3
BEVELED CHANGES IN LEVEL

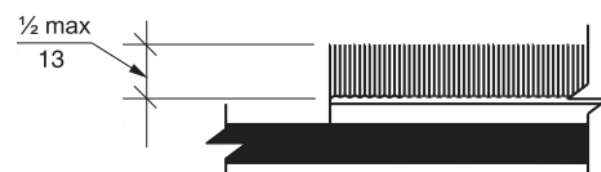


FIGURE 302.2
CARPET ON FLOOR SURFACES

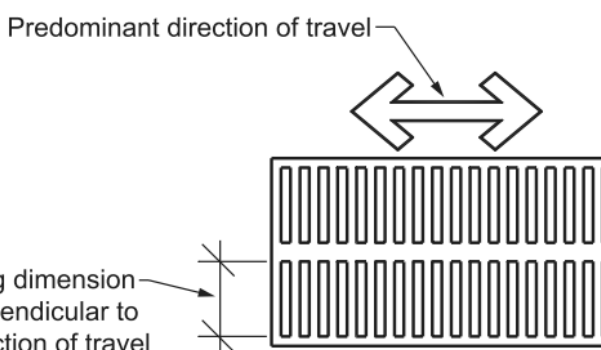


FIGURE 302.3
OPENINGS IN FLOOR SURFACES

FLOOR & GROUND SURFACES

Ref. Sections 302 & 303

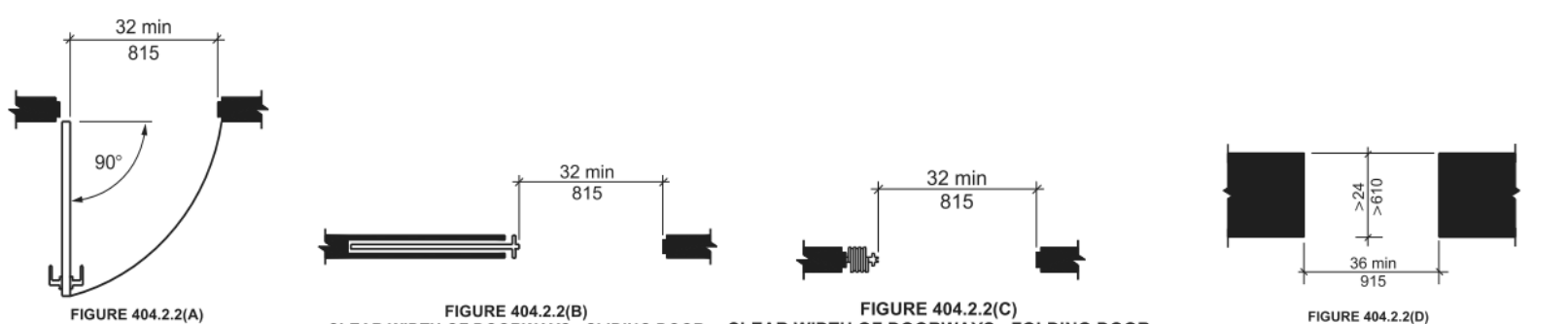


FIGURE 404.2.2(A)
CLEAR WIDTH OF DOORWAYS - HINGED DOOR

FIGURE 404.2.2(B)
CLEAR WIDTH OF DOORWAYS - SLIDING DOOR

FIGURE 404.2.2(C)
CLEAR WIDTH OF DOORWAYS - FOLDING DOOR

FIGURE 404.2.2(D)
CLEAR WIDTH OF DOORWAYS - DOORWAYS WITHIN DOORS

CLEAR WIDTH OF DOORWAYS

Fig. 404.2.2

ACCESSIBLE ROUTE NOTE:
THE RUNNING SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48 (403.3)

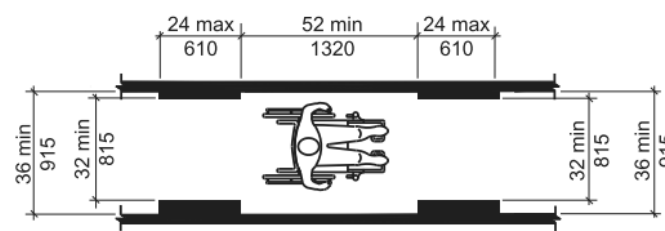


FIGURE 403.5.1(A)
CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - INTERIOR

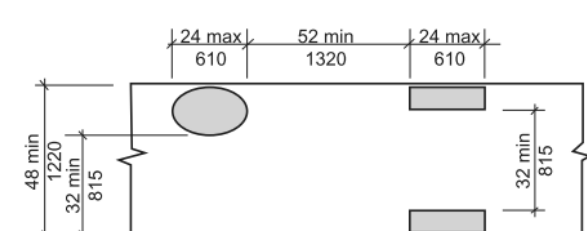


FIGURE 403.5.1(B)
CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - EXTERIOR

ACCESSIBLE ROUTE

Ref. Sections 402

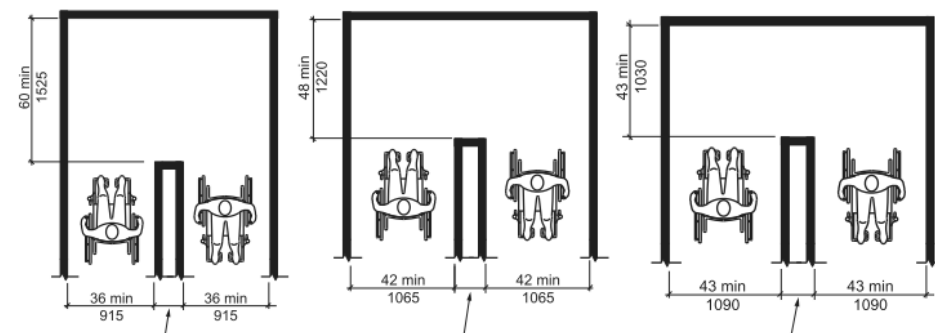
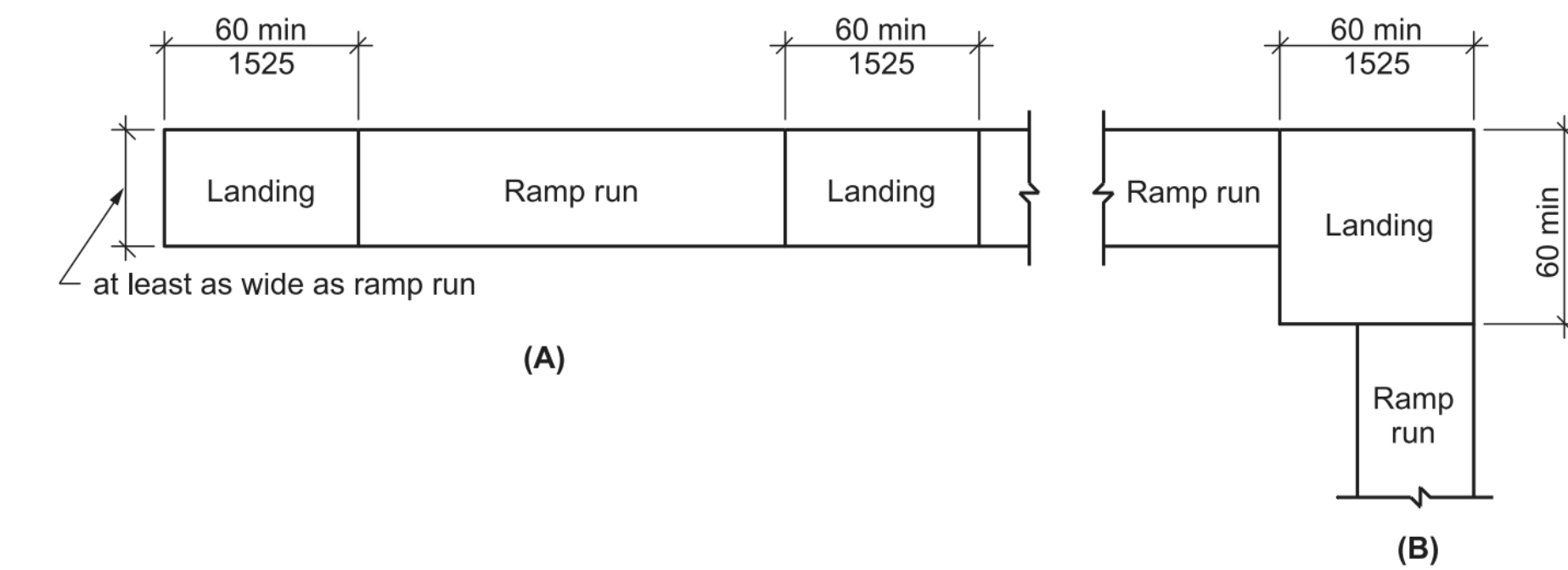


FIGURE 403.5.2.1(A)
CLEAR WIDTH AT 180-DEGREE TURN
NEW BUILDINGS - OPTION 1

FIGURE 403.5.2.1(B)
CLEAR WIDTH AT 180-DEGREE TURN
NEW BUILDINGS - OPTION 2

FIGURE 403.5.2.1(C)
CLEAR WIDTH AT 180-DEGREE TURN
NEW BUILDINGS - OPTION 3



(A)

(B)

FIGURE 405.7
RAMP LANDINGS

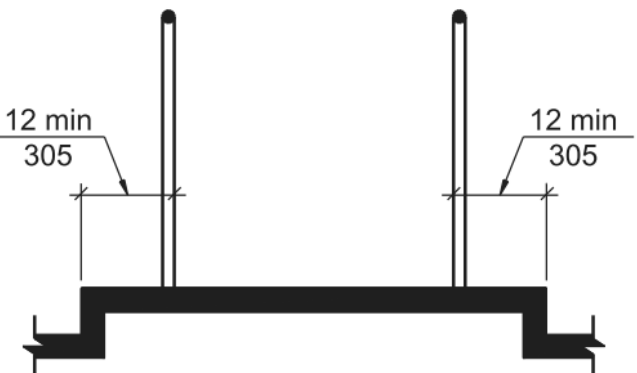


FIGURE 405.9.1
EXTENDED FLOOR SURFACE

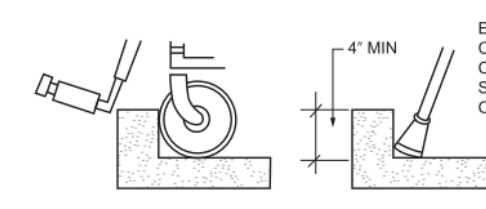


Figure C 405.9.2
CURB DETAIL AT WALK

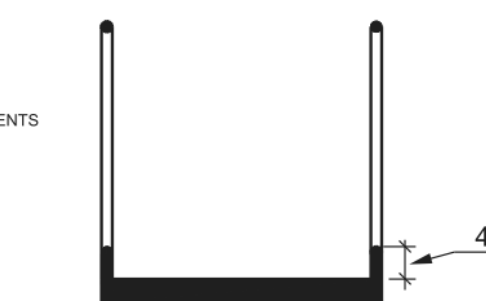


FIGURE 405.9.2.1
CURB

HANDRAILS

Ref. Sections 505

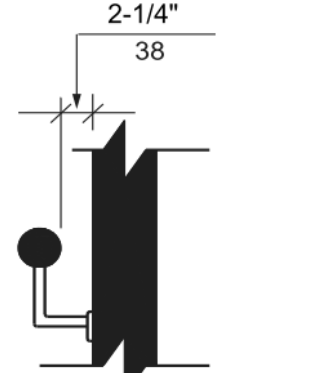


FIGURE 505.5
HANDRAIL CLEARANCE

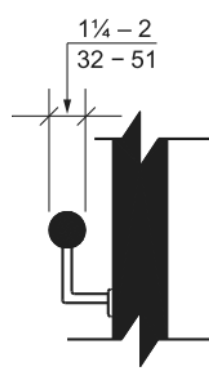


FIGURE 505.7(A)
HANDRAIL CROSS SECTION - CIRCULAR

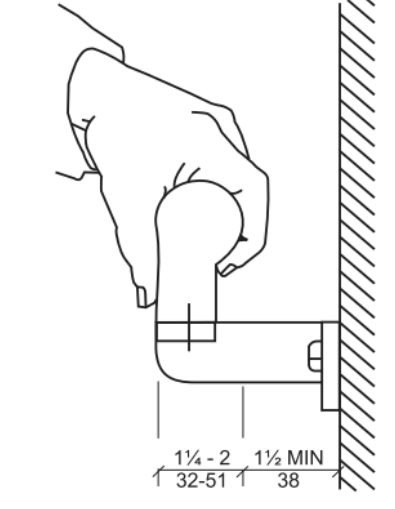


Figure C505.6
HANDRAIL/CRASH GUARD COMBINATION



FIGURE 505.7(B)
HANDRAIL CROSS SECTION - NONCIRCULAR

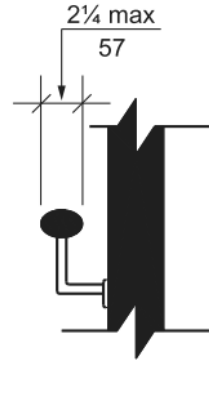


FIGURE 505.7(C)
HANDRAIL CROSS SECTION - NONCIRCULAR

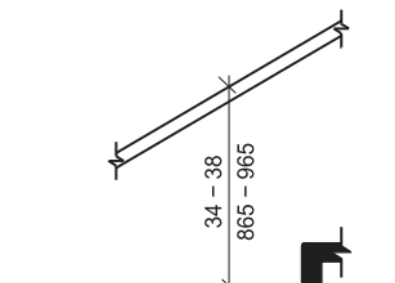


FIGURE 505.4(A)
HANDRAIL HEIGHT - STAIRS

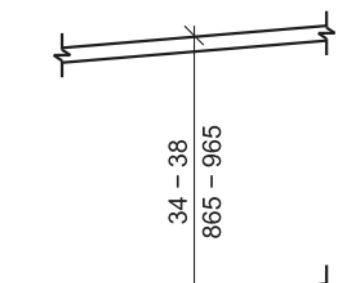
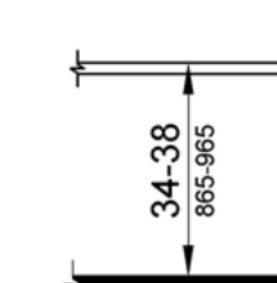


FIGURE 505.4(B)
HANDRAIL HEIGHT - RAMPS



(c)
walking surfaces

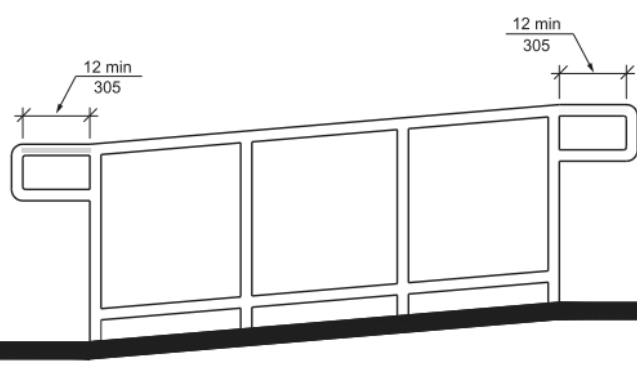


FIGURE 505.16.1
TOP AND BOTTOM HANDRAIL EXTENSION AT RAMPS

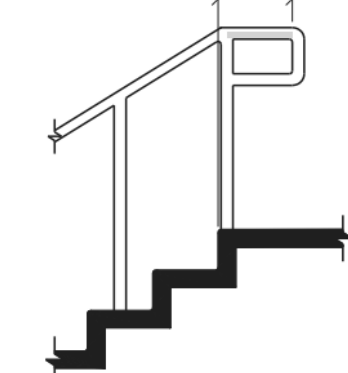


FIGURE 505.16.2
TOP HANDRAIL EXTENSION AT STAIRS

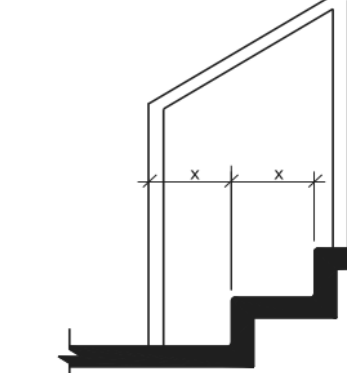


FIGURE 505.16.3
BOTTOM HANDRAIL EXTENSION AT STAIRS

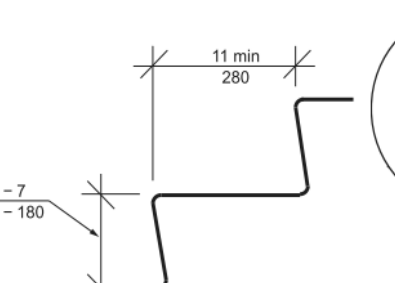


FIGURE 504.2
TREADS AND RISERS FOR STAIRWAYS

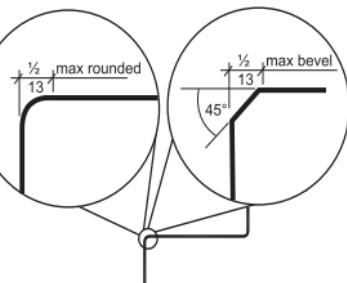


FIGURE 504.5(A)
STAIR NOSINGS - VERTICAL RISER, CURVE OR BEVEL AT LEADING EDGE

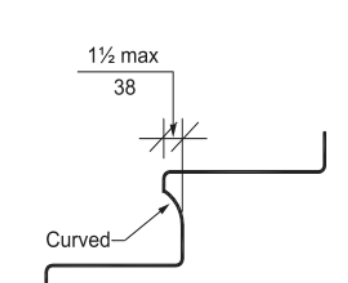


FIGURE 504.5(B)
STAIR NOSINGS - VERTICAL RISER, CURVED NOSING

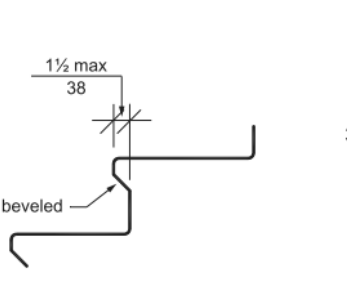


FIGURE 504.5(C)
STAIR NOSINGS - VERTICAL RISER, BEVELED NOSING

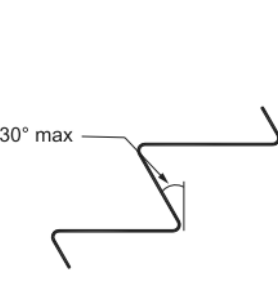
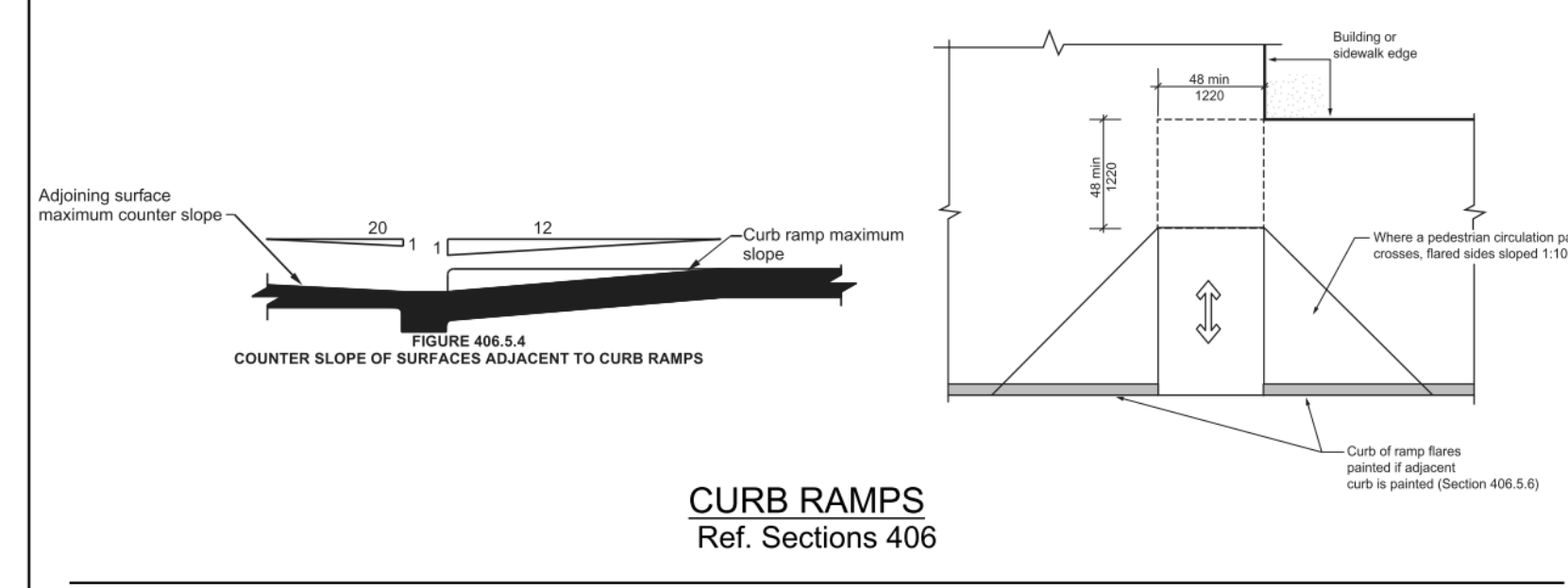


FIGURE 504.5(D)
STAIR NOSINGS - VERTICAL RISER, ANGLED RISER

STAIRWAYS & HANDRAILS

Ref. Sections 504 & 505



CURB RAMPS
Ref. Sections 406

GENERAL SITE NOTES:
1.ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE LEVEL. MAXIMUM PERMITTED SLOPE IS 1:48 (502.5)

2.ACCESSIBLE PARKING SPACES MUST BE IDENTIFIED WITH A SIGN. SIGNS IDENTIFYING VAN ACCESSIBLE SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE MINIMUM 60" FROM THE PARKING SURFACE TO THE BOTTOM OF THE SIGN. (502.7)

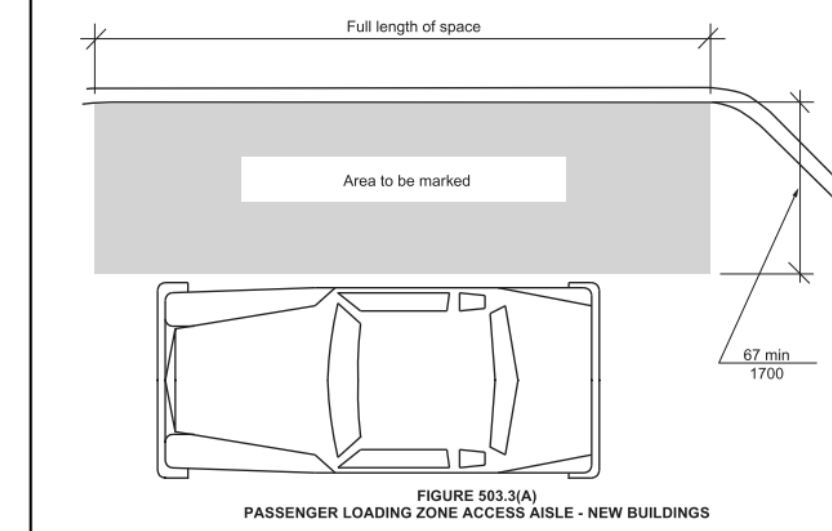


FIGURE 503.3(A)
PASSENGER LOADING ZONE ACCESS AISLE - NEW BUILDINGS

IDENTIFICATION

Ref. Sections 502.6



60" MIN
ABOVE
PARKING
SURFACE

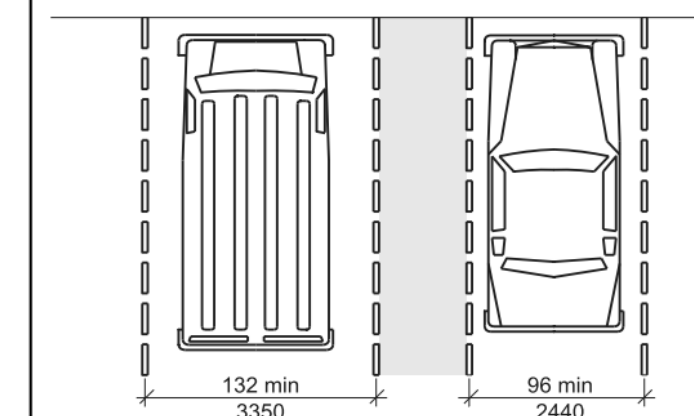


FIGURE 502.2(A)
VEHICLE PARKING SPACE SIZE

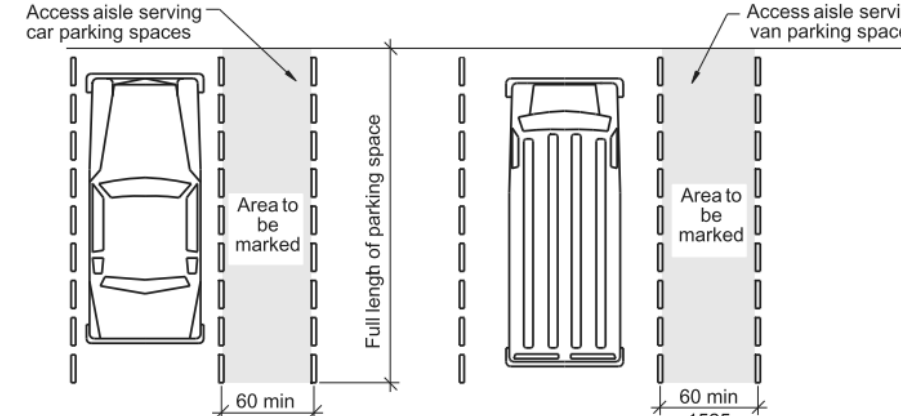


FIGURE 502.4
PARKING SPACE ACCESS AISLE

PARKING & PASSENGER LOADING ZONES

Ref. Sections 502 & 503

NOTES:
1.PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES (307.5)

2.PROTRUDING OBJECTS ON A CIRCULATION PATH SHALL COMPLY WITH SECTION 307

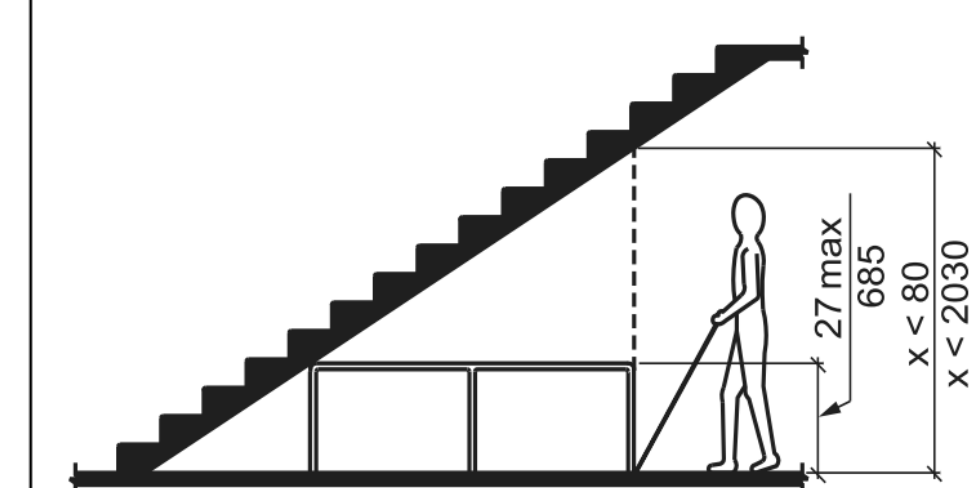


FIGURE 307.4
REDUCED VERTICAL CLEARANCE

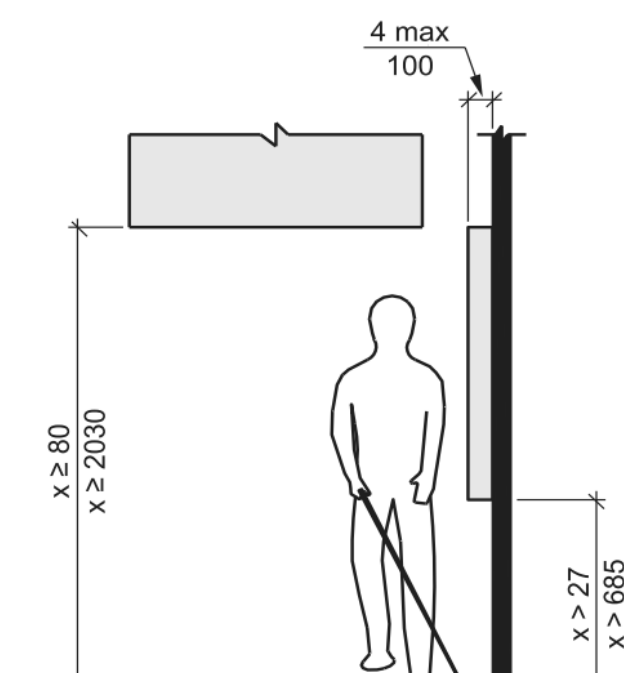


FIGURE 307.2
LIMITS OF PROTRUDING OBJECTS

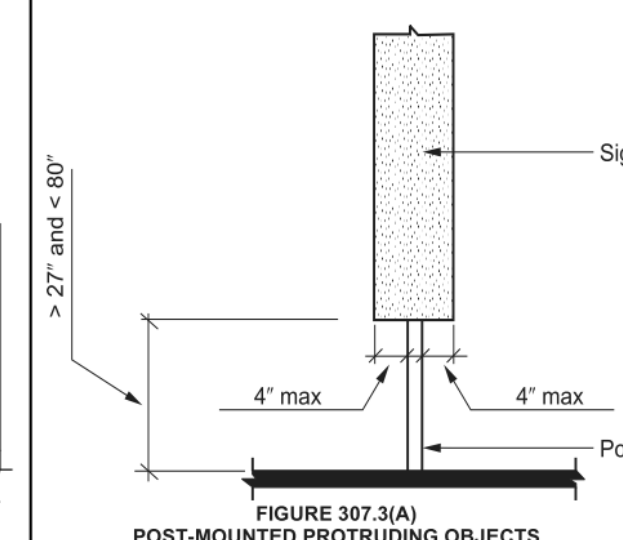


FIGURE 307.3(A)
POST-MOUNTED PROTRUDING OBJECTS

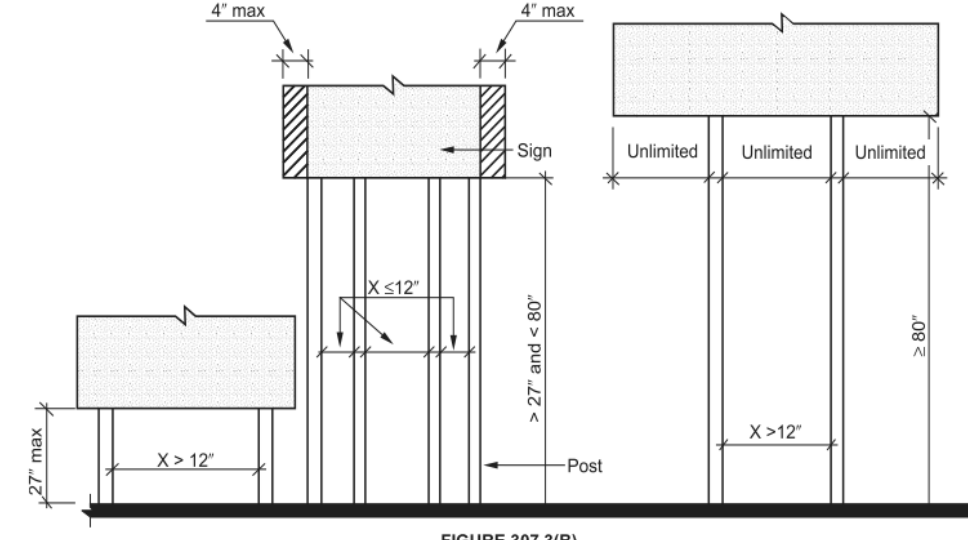


FIGURE 307.3(B)
POST-MOUNTED PROTRUDING OBJECTS

PROTRUDING OBJECTS

Ref. Sections 307

PRELIMINARY NOT FOR CONSTRUCTION

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MARKET HOUSE
100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
ADA STANDARDS

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
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G021

Scale

SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL NOTES

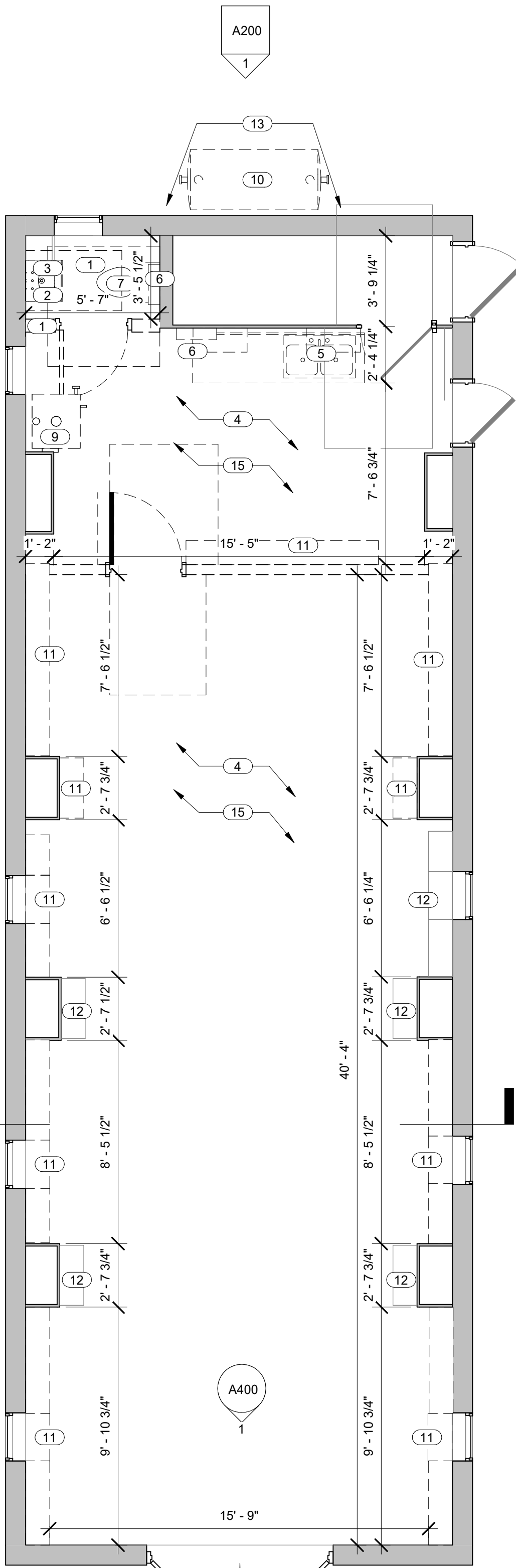
- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM; REFER TO MEP DRAWINGS FOR MORE INFORMATION
- DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
- EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
- REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- EXISTING CASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
- REMOVE AND REPLACE EXISTING MECH. UNIT, REFER TO MEP DRAWINGS.
- REMOVE/RELOCATE EXISTING TOILET. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- REMOVE BOILER, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- REMOVE FUEL OIL TANK, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- RELOCATE ELECTRICAL PANEL AND FIXTURES, REFER TO ELECTRICAL SHEETS
- REMOVE BOOKCASES, SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
- ETR BOOKCASES
- PREP EX. SITE FOR NEW EQUIP. PAD, REFER TO MECH. DWGS.
- DEMO EX. FLOOR STRUCT. TO ACCOMODATE NEW LU/LA SHAFT, REF. TO STRUCT. DEMO SHEET
- DEMO ENTIRE EXISTING FIRST FLOOR CEILING AND LIGHT FIXTURES.

DEMO LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



GENERAL NOTES

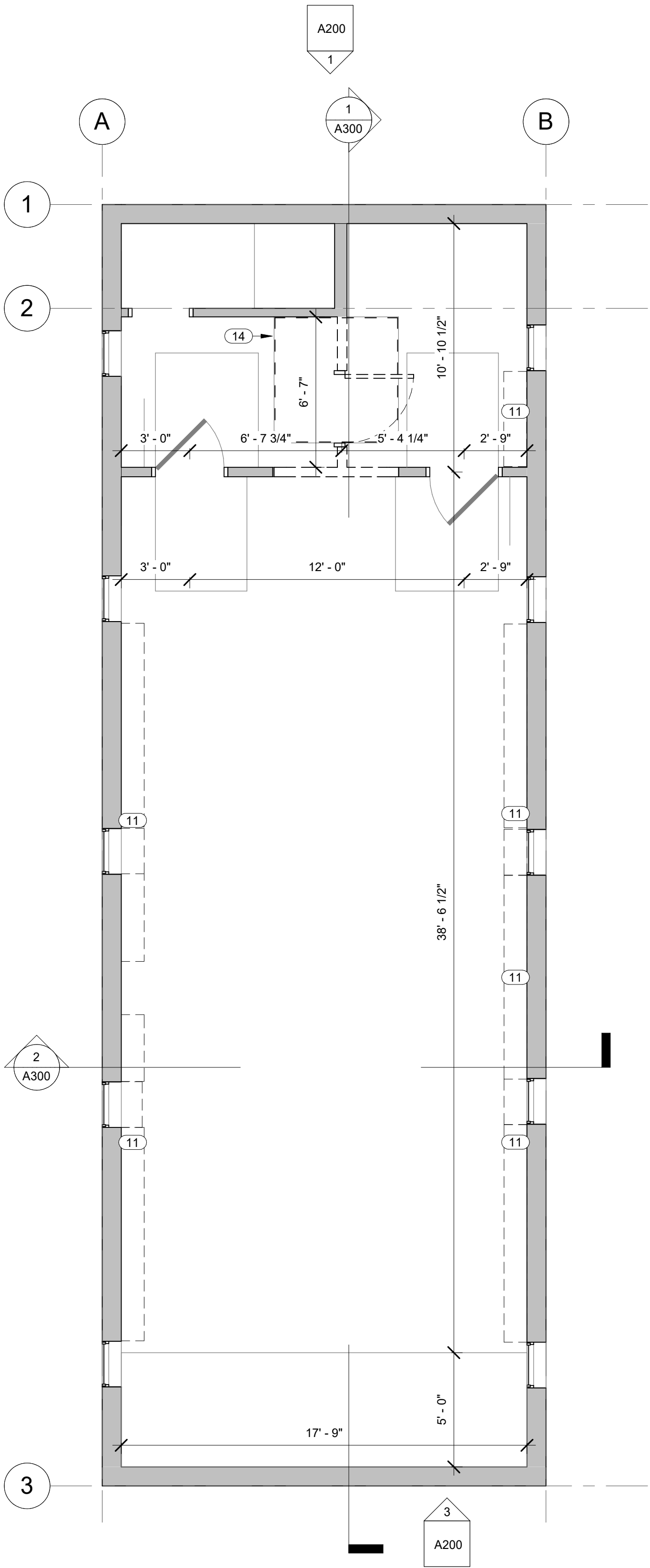
- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

1. DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM; REFER TO MEP DRAWINGS FOR MORE INFORMATION
2. DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
3. EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
4. REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
5. EXISTING CASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
6. REMOVE AND REPLACE EXISTING MECH. UNIT, REFER TO MEP DRAWINGS.
7. REMOVE/RELOCATE EXISTING TOILET, REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
8. REMOVE BOILER, REFER TO MEP SHEETS & COORDINATE WITH OWNER
9. REMOVE FUEL OIL TANK, REFER TO MEP SHEETS & COORDINATE WITH OWNER
10. RELOCATE ELECTRICAL PANEL AND FIXTURES, REFER TO ELECTRICAL SHEETS
11. REMOVE BOOKCASES, SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
12. ETR BOOKCASES
13. PREP EX. SITE FOR NEW EQUIP. PAD, REFER TO MECH. DWGS.
14. DEMO EX. FLOOR STRUCT. TO ACCOMMODATE NEW LULA SHAFT, REF. TO STRUCT. DEMO SHEET.
15. SHEET 15.15 - EXISTING FLOOR, CEILING AND LIGHT FIXTURES

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



1 LEVEL 2-DEMO
1/4" = 1'-0"



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MARKET HOUSE

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LEVEL 2 - DEMOLITION

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

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D101

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. EXISTING WALLS, CEILINGS AND MEP ARE REMOVED PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

1. ADD DISPLAY CASES
2. ADD L SHAPE RECEPTION DESK
3. INSTALL NEW FLOOR MOUNTED GARAVENTA-
4. GUSO SHAFETY SW-380 LULA FOR
HANDICAP ACCESS TO SECOND FLOOR
5. SOUND ABSORBING PAD W/ 6" SNOW LEGS,
COORD. W/ HEAT PUMP MANUFACTURER
REQM'TS
6. NEW MINI SPLIT HEAT PUMP, REFER TO MECH.
DWGS.
7. NEW MINI SPLIT WALL MOUNTED AIR HANDLER
8. NEW SMALL SIZE REFRIGERATOR, TBD BY
OWNER
9. NEW SMALL SIZE MICROWAVE, TBD BY OWNER
10. PANTRY BASE CAB., COUNTER TOP AND SINK TBD
BY OWNER
11. ETR SHELVING
12. REPLACE SHELVING WITH STOR. CABINET
13. RELOCATED ELEC. PANEL
14. NEW STOR. CABINETS, DIMS WILL VARY ACCORD.
TO WIDTH OF SHELVES



LEVEL 1 - M
1/4" = 1'-0"

PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
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SHEPHERDSTOWN

LEVEL 1 PLAN

Revision Schedule		
No.	Revision Description	Date

INTENDED DRAWING USE:	
SCHEMATIC DESIGN	

Project number	23-061
Date	08-28-2023
Drawn by	RS
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A100

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GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. EX. ELEVATED PLATFORM
- 2. NEW MINI SPLIT WALL MOUNTED AIR HANDLER



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LEVEL 2 PLAN

Revision Schedule

No.	Revision Description	Date
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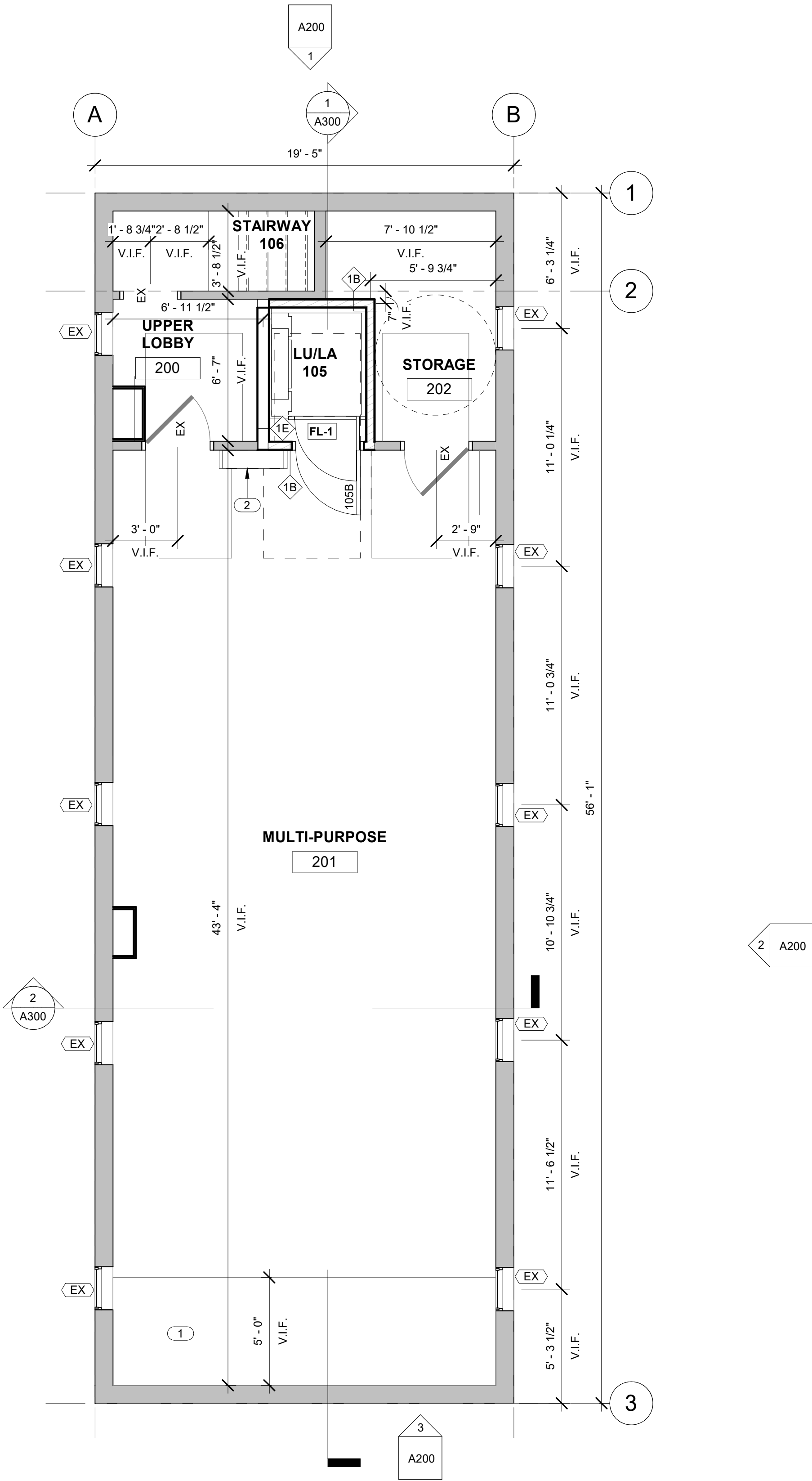
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A102

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SCALE REFERS TO 24" X 36" PAPER SIZE



1 LEVEL 2 - NEW FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING CEILINGS AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. SEE D111 & D112 FOR ADDITIONAL DETAILS.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. LOCATIONS IDENTIFIED FOR LIGHTING FIXTURES TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
- 2. USE EXISTING LIGHT LOCATIONS WHERE POSSIBLE, INSTALL NEW FIXTURES, SELECTED BY OWNER



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SHEPHERDSTOWN
REFLECTED CEILING PLAN - LEVEL 1

Revision Schedule

No.	Revision Description	Date
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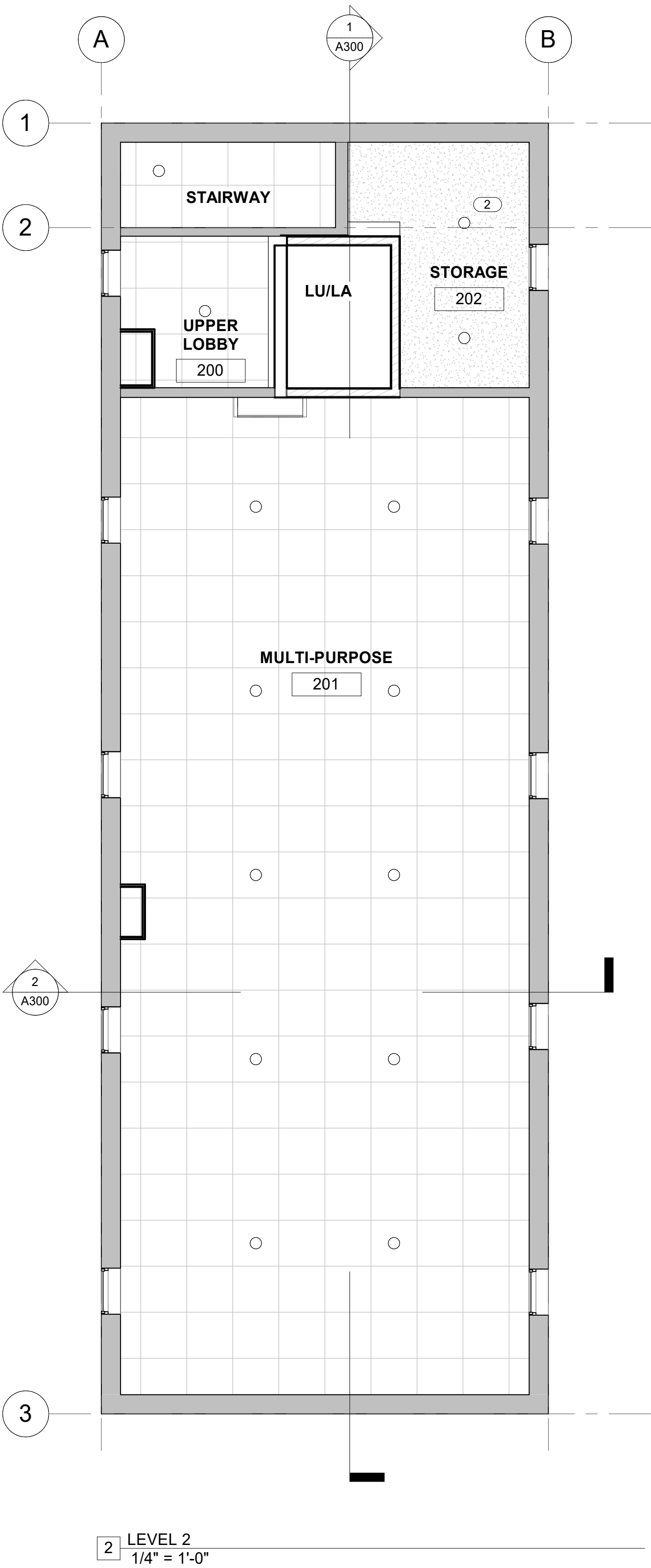
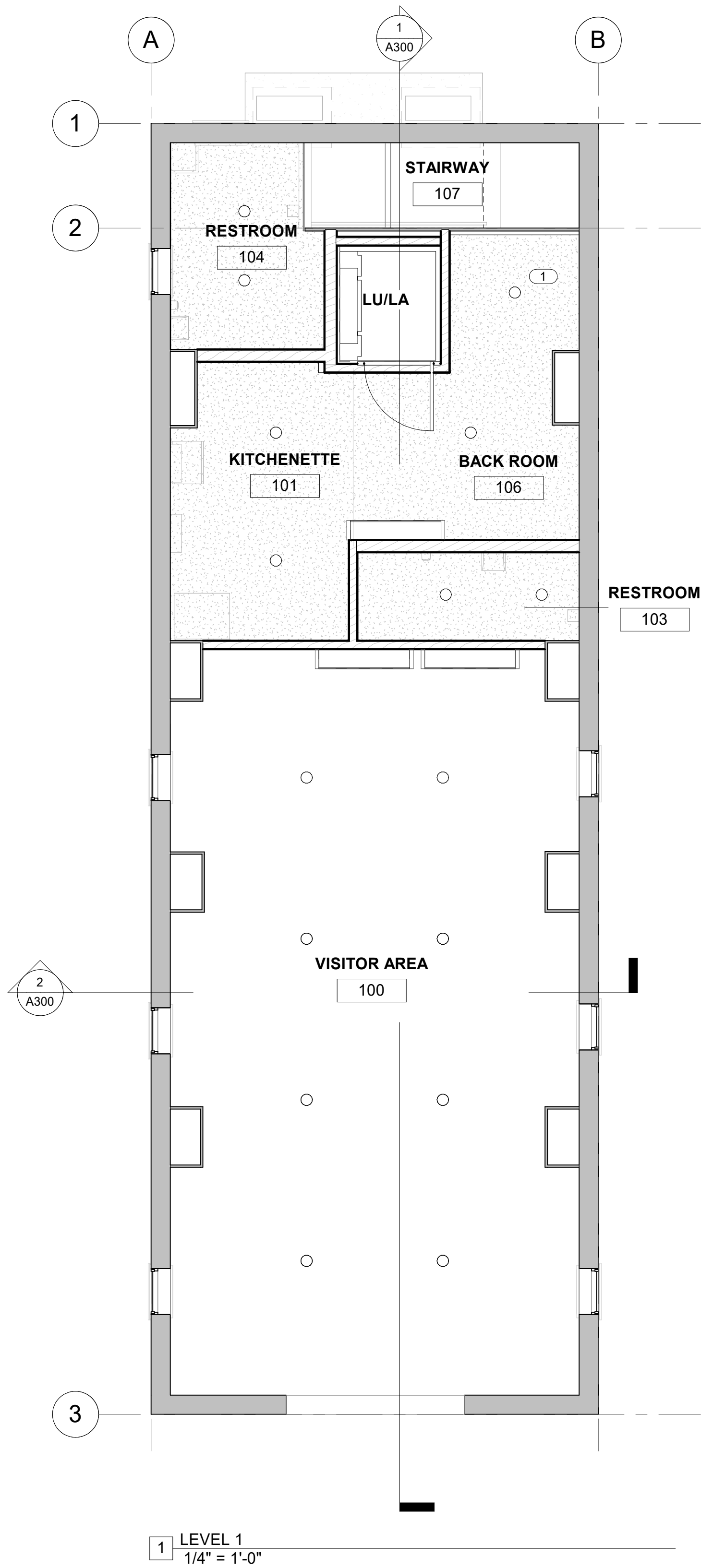
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Project number	23-061
Date	08-28-2023
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Checked by	Checker

A110

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SCALE REFERS TO 24" X 36" PAPER SIZE



KEYED NOTES

1.
- NEW MINI SPLIT HEAT PUMP, REFER TO MECH. DWGS.
2.
- NEW EQUIPMENT SOUND ISOLATION PAD, REFER TO MECH. DWGS.

GENERAL NOTES

- A.
- A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B.
- REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C.
- ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D.
- EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E.
- WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.



WHEELING, WV
MORGANTOWN, WV
SHEPHERDSTOWN, WV
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SHEPHERDSTOWN

ELEVATIONS

Revision Schedule

No.	Revision Description	Date
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Project number 23-061

Date 08-28-2023

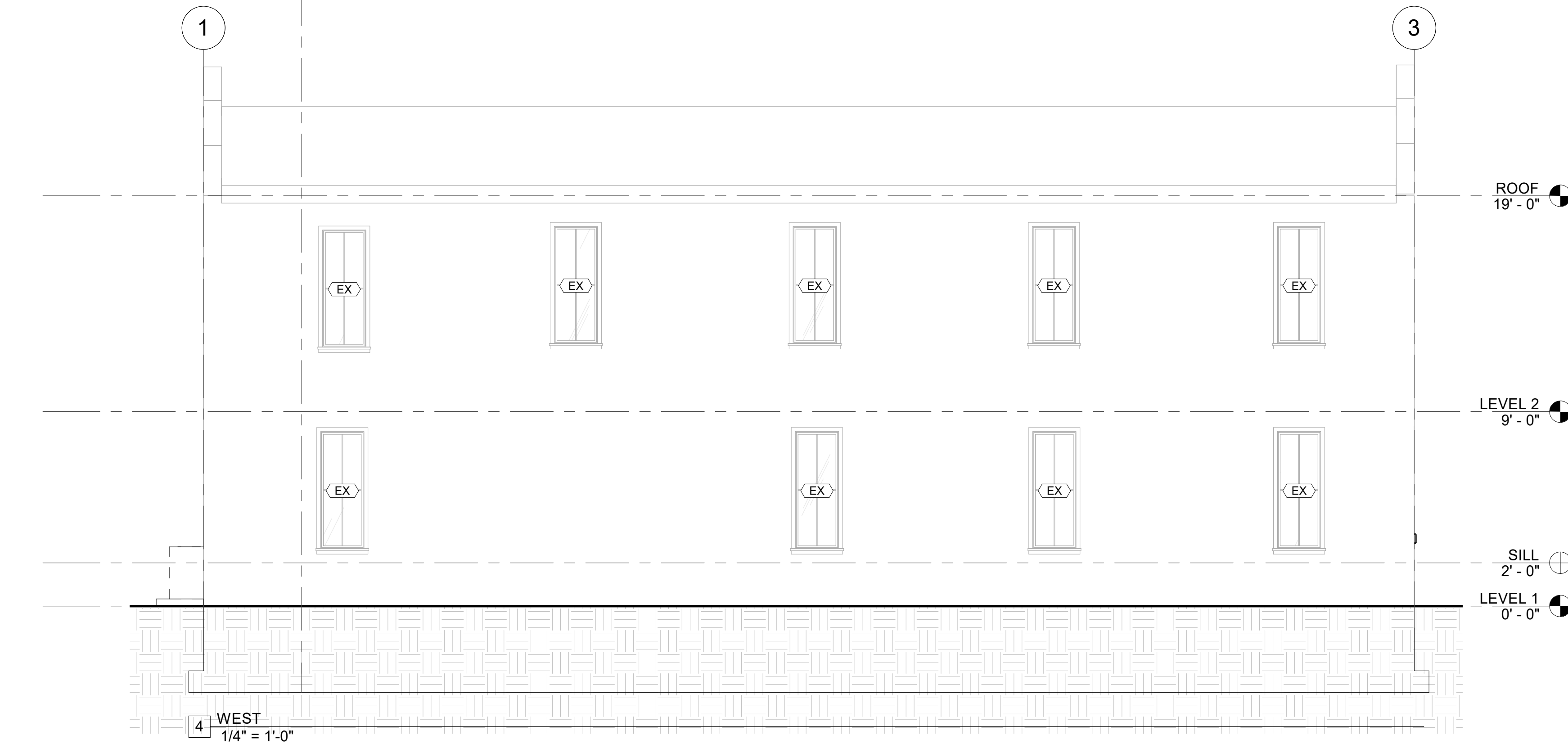
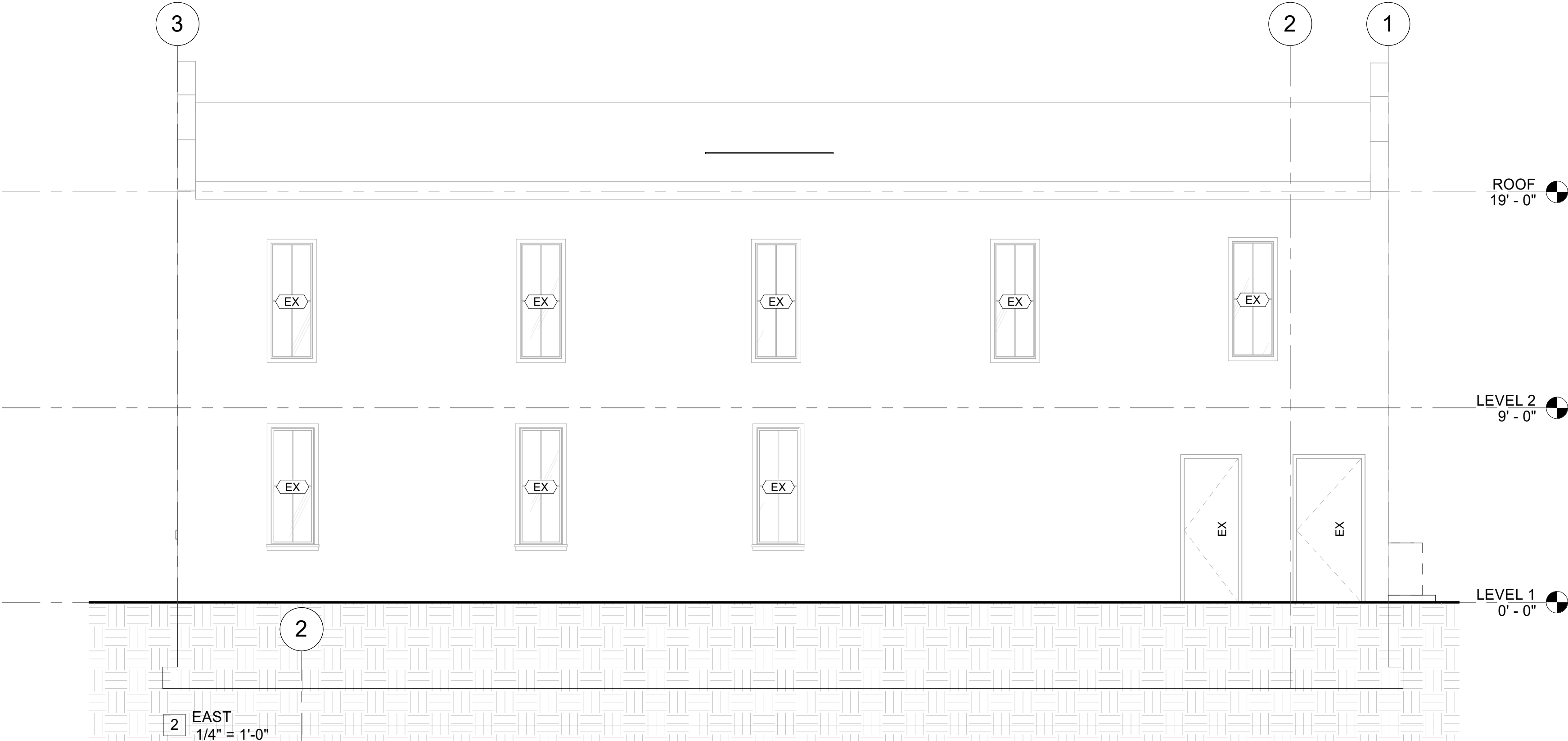
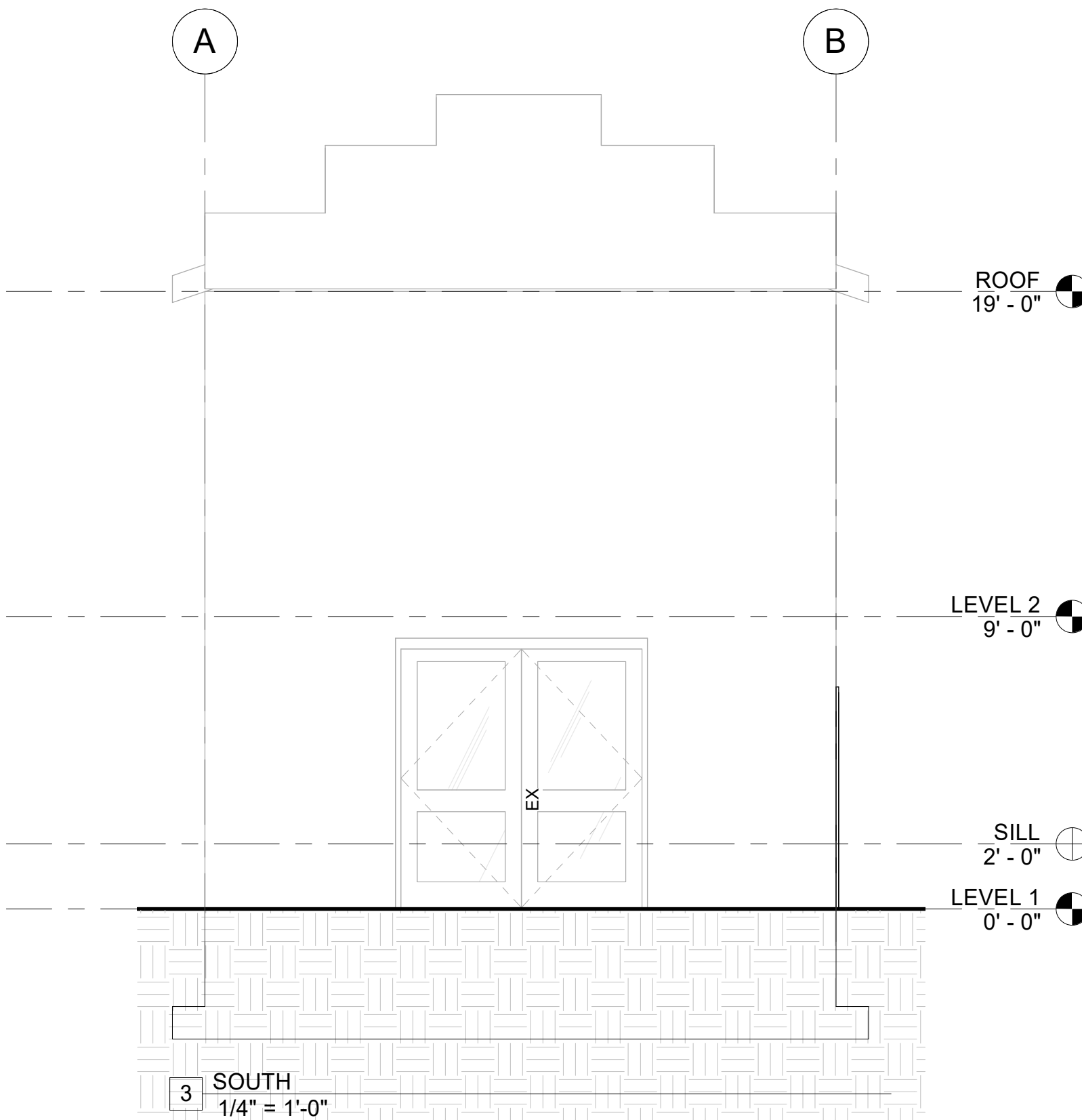
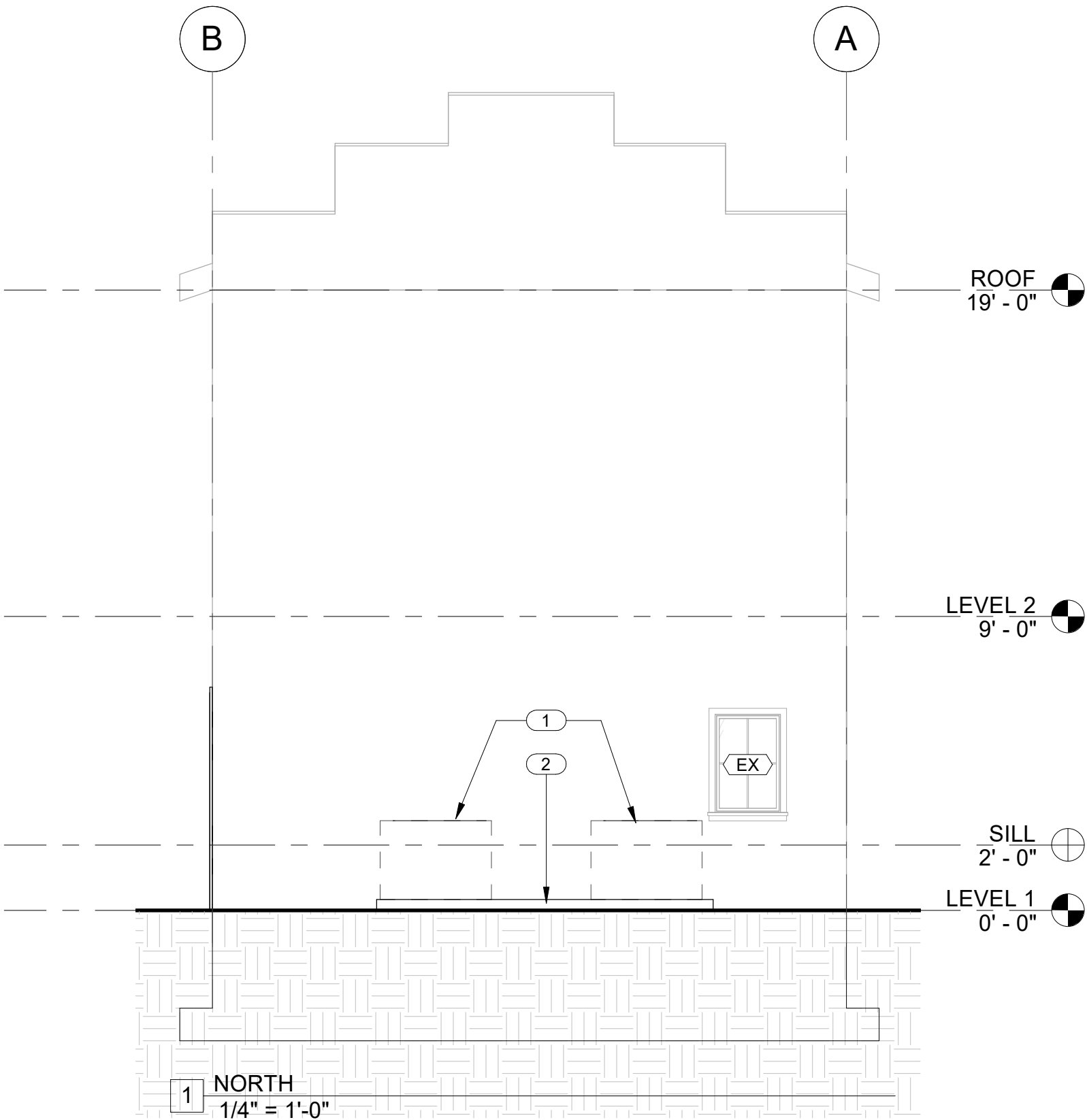
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SCALE REFERS TO 24" X 36" PAPER SIZE



GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. FL-1 RATED FLOOR ASSEMBLY BETWEEN FIRST AND SECOND FLOOR RATED PARTITIONS
- 2. RECEPTION DESK
- 3. ETR BOOKCASES
- 4. ETR ELEVATED PLATFORM
- 5. MINI-SPLIT AIR HANDLER
- 6. TOILET PAPER DISPENSER
- 7. PAPER TOWEL DISPENSER
- 8. SOAP DISPENSER



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PROJECT:
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SHEPHERDSTOWN

SECTIONS

Revision Schedule

No.	Revision Description	Date
-----	----------------------	------

INTENDED DRAWING USE:

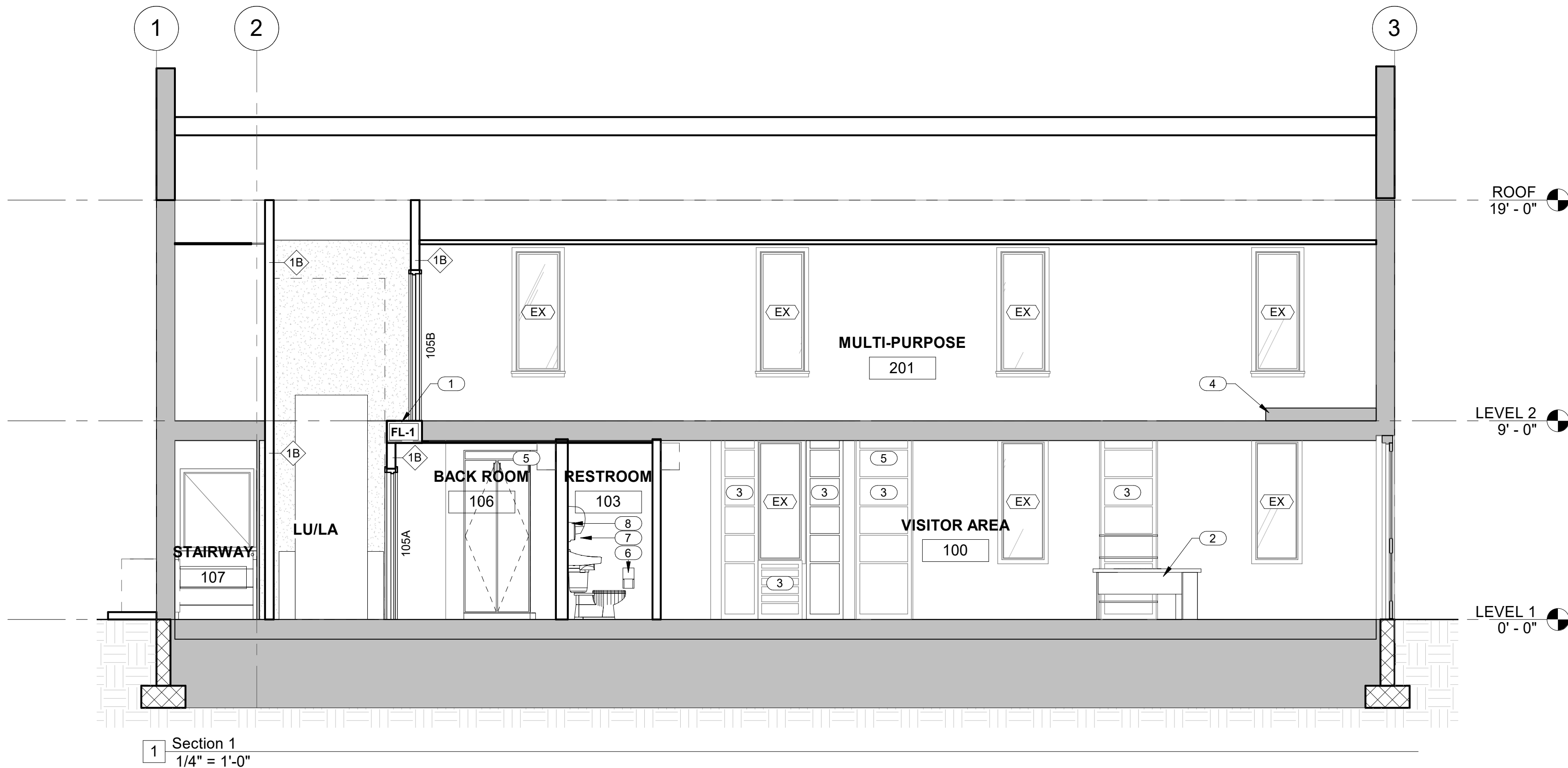
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Project number	23-061
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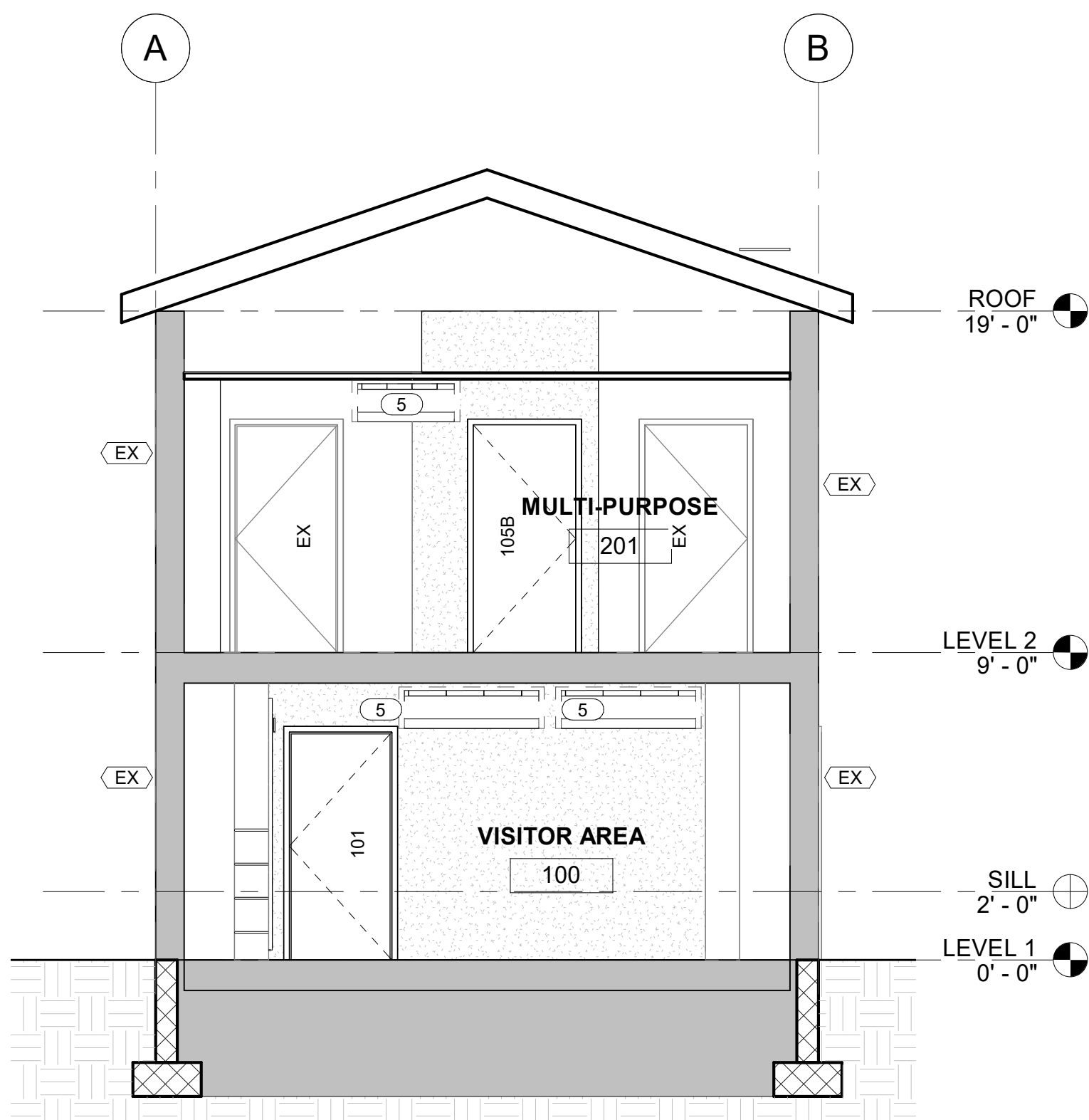
A300

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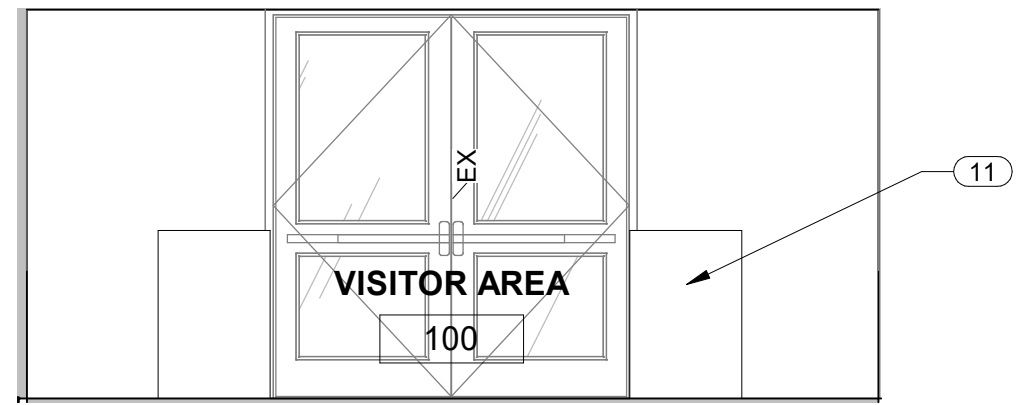
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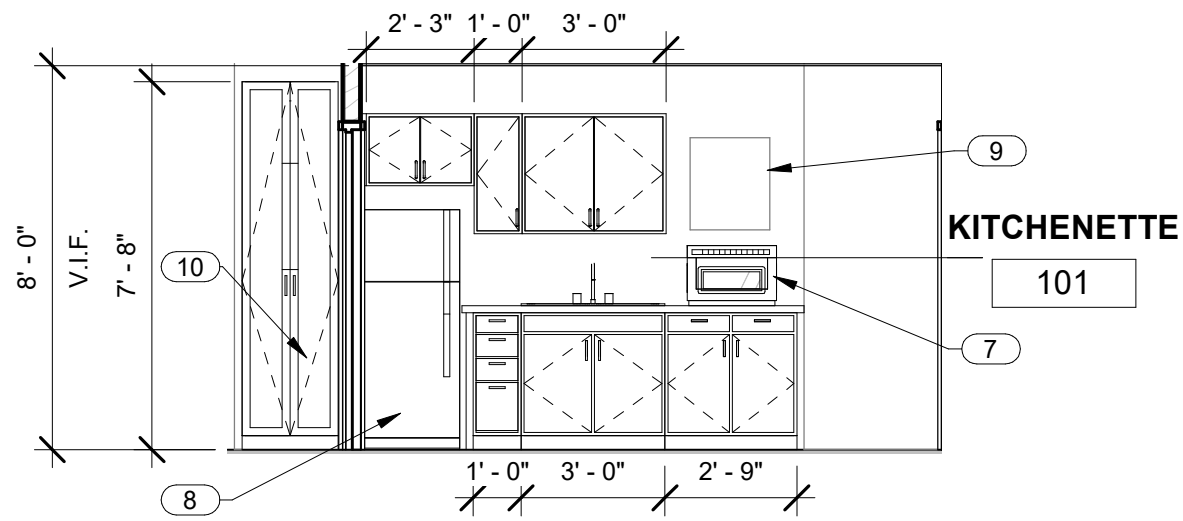
1 Section 1
1/4" = 1'-0"



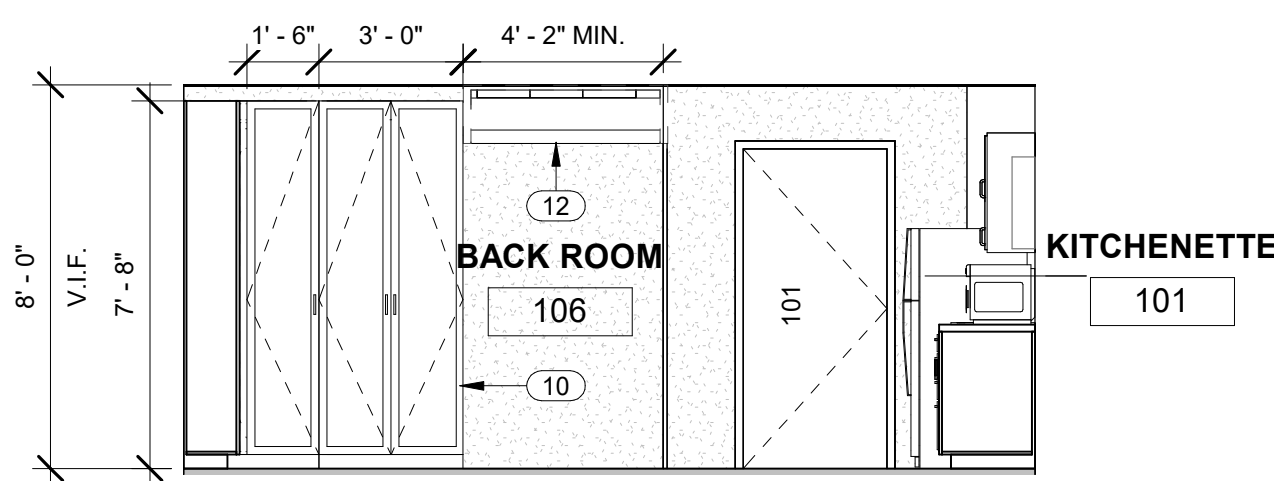
2 Section 2
1/4" = 1'-0"



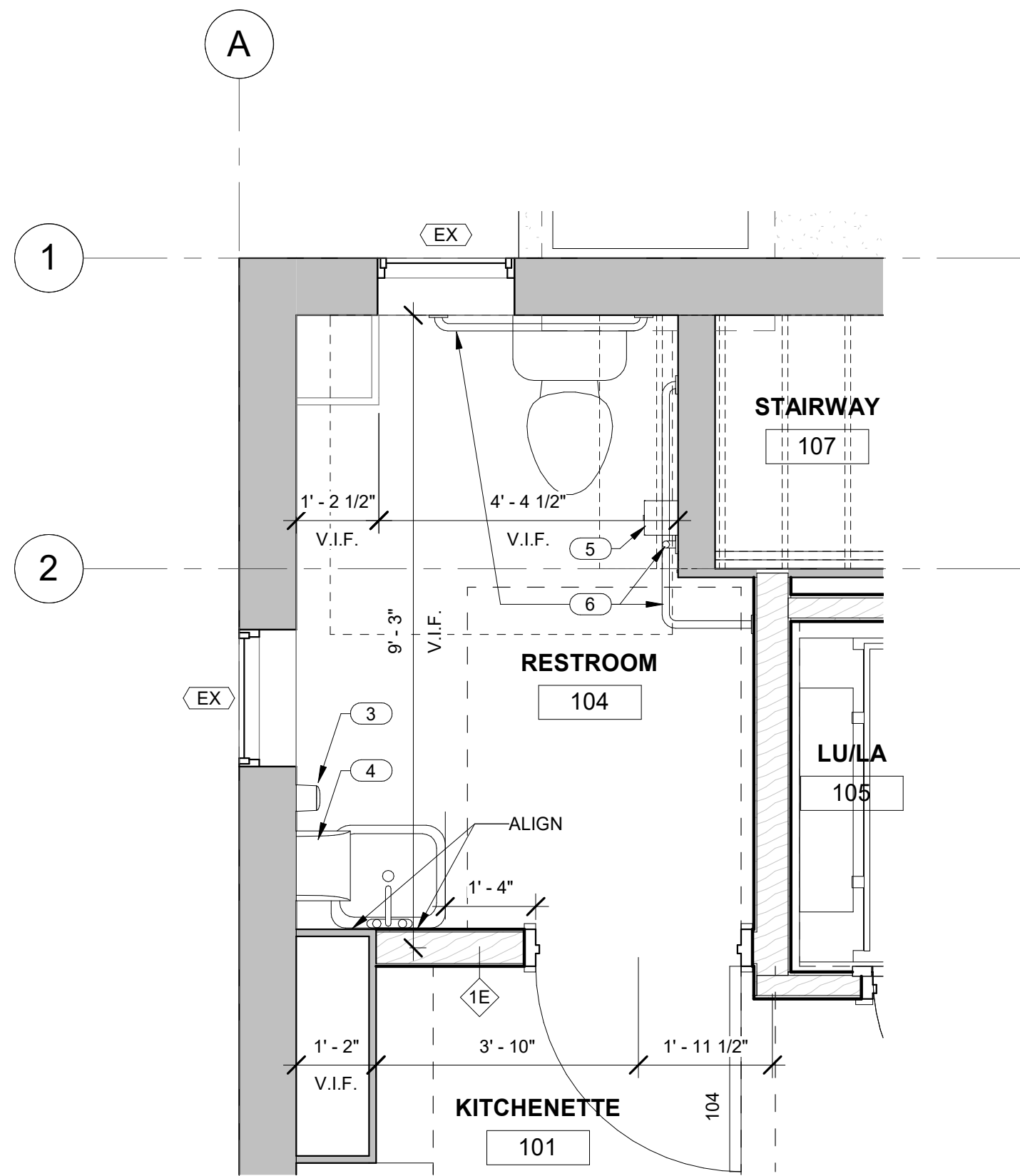
1 INTERIOR ELEVATION - VISITABLE MATERIALS
1/4" = 1'-0"



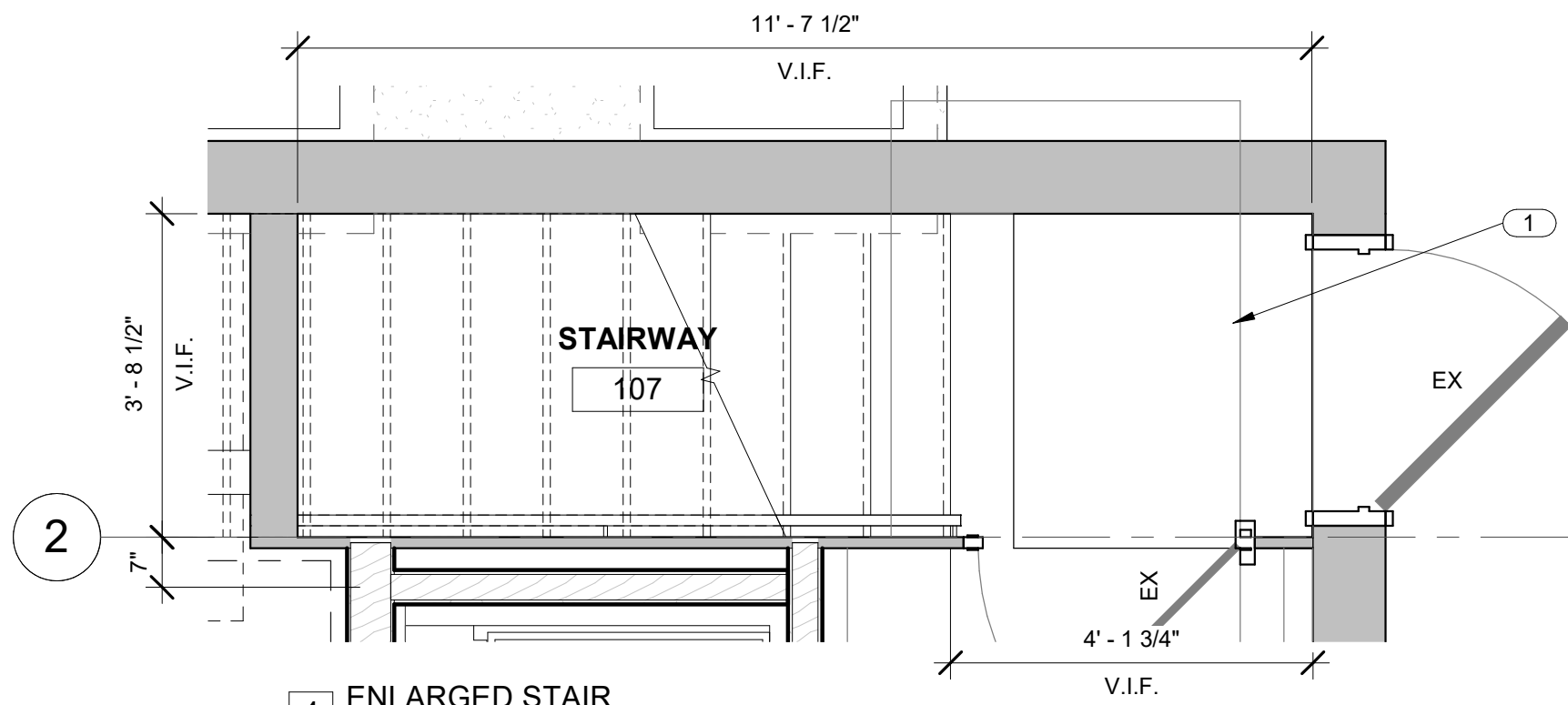
2 INTERIOR ELEVATION - PANTRY
1/4" = 1'-0"



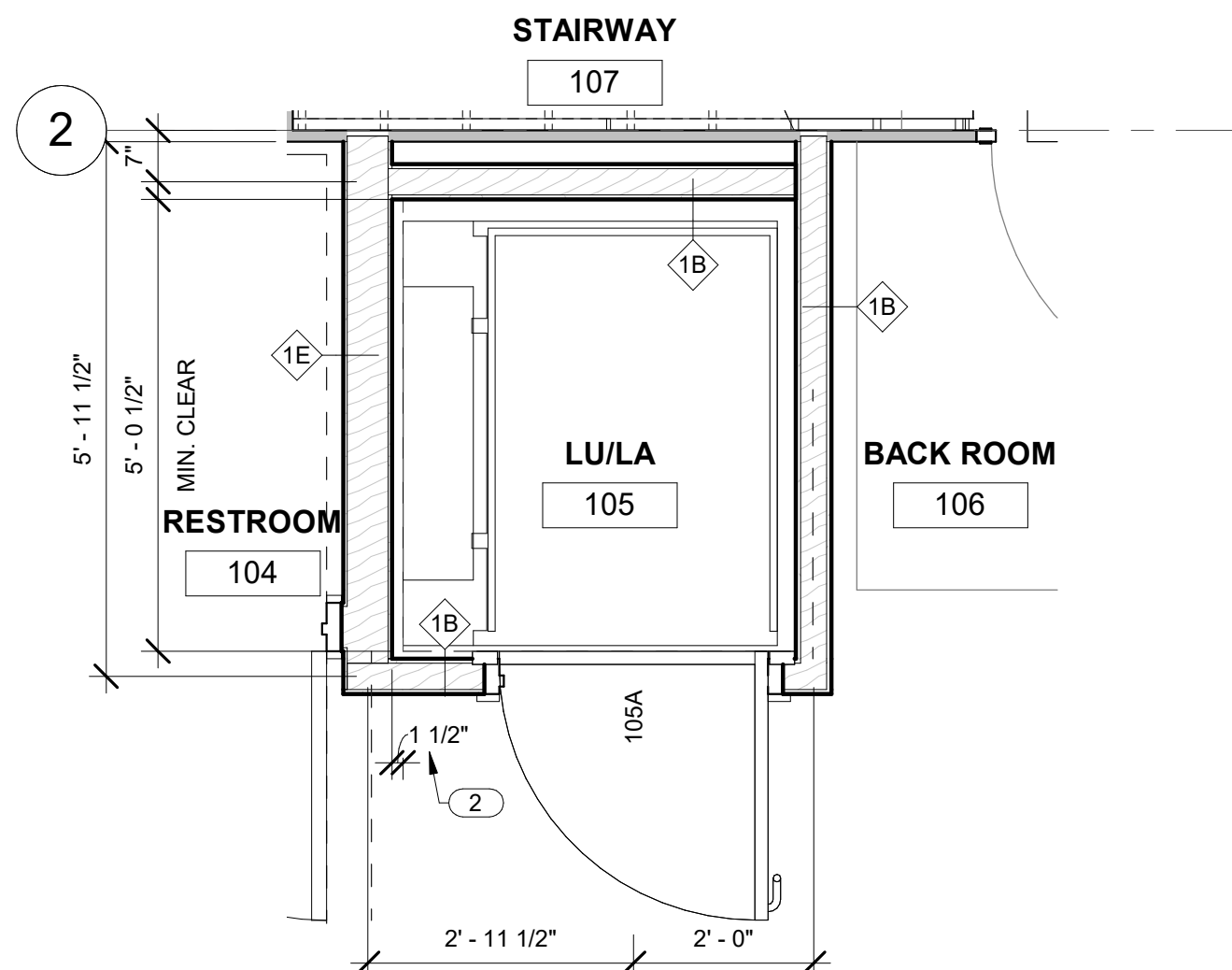
6 BACK ROOM
1/4" = 1'-0"



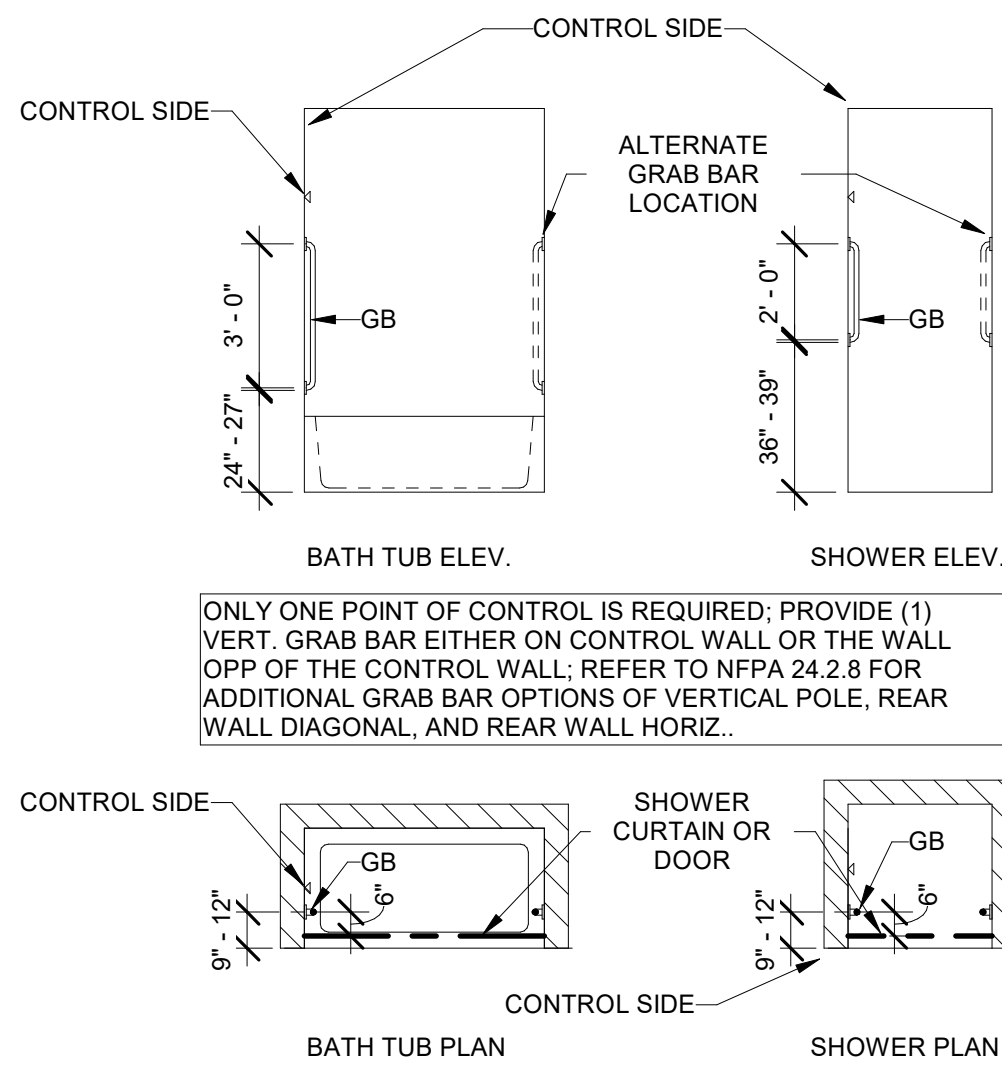
3 ENLARGED BATHROOM
1/2" = 1'-0"



4 ENLARGED STAIR
1/2" = 1'-0"



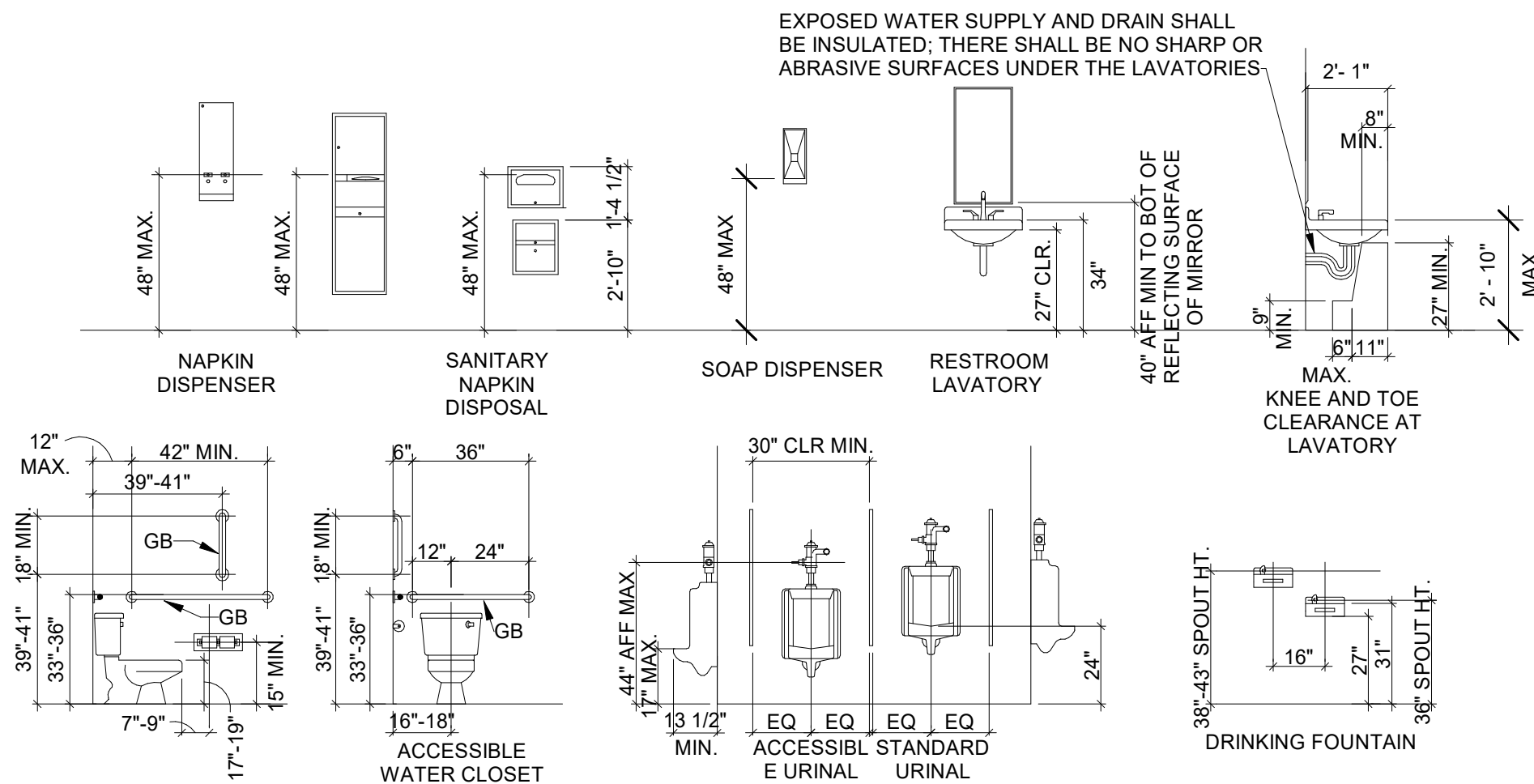
5 ENLARGED LIFT PLAN
1/2" = 1'-0"



ONLY ONE POINT OF CONTROL IS REQUIRED; PROVIDE (1) VERT. GRAB BAR EITHER ON CONTROL WALL OR THE WALL OPP OF THE CONTROL WALL; REFER TO NFPA 24.2.8 FOR ADDITIONAL GRAB BAR OPTIONS OF VERTICAL POLE, REAR WALL DIAGONAL, AND REAR WALL HORIZ.

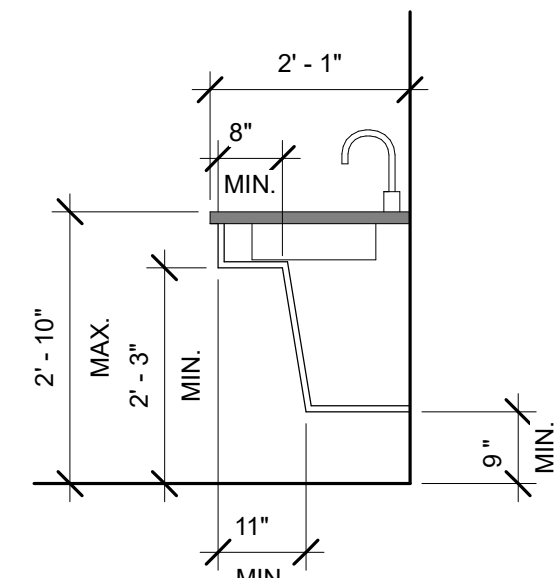
NFPA 24.2.8 - LIFE SAFETY GRAB BARS REQUIRED AT ALL NEW BATH TUBS, SHOWERS AND BATH / SHOWER COMBO UNITS; REFER TO CHAPTERS 12-32 FOR OCCUPANCY SPECIFIC GUIDELINES

TOILET ROOM MOUNTING HEIGHTS
1/4" = 1'-0"



EXPOSED WATER SUPPLY AND DRAIN SHALL BE INSULATED; THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER THE LAVATORIES.

40" AFF MIN TO BOT OF REFLECTING SURFACE OF MIRROR
MAX KNEE AND TOE CLEARANCE AT LAVATORY



Accessible Base Cabinet Mounting Detail
1/2" = 1'-0"

GENERAL NOTES

- A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- EXISTING FLOOR NEEDS REPAIRED
- PROVIDE MANUF. REQUIRED CLEARANCE TO ACCOMMODATE LUL/LA MAST TIE BACK BRACKET
- WALL MOUNTED SOAP DISPENSER
- WALL MOUNTED PAPER TOWEL DISPENSER
- WALL MOUNTED TOILET PAPER DISPENSER
- GRAB BARS, REF. TO MOUNT. HT. LEGEND
- SMALL SIZE MICROWAVE, TBD BY OWNER
- SMALL SIZE REFRIGERATOR, TBD BY OWNER
- RELOCATED ELECT. PANEL
- NEW STORAGE CABINETS, DIMS WILL VARY ACCORD. TO WIDTH OF SHELVES
- DISPLAY CASES, TYP
- WALL MOUNTED MINI-SPLIT AIR HANDLER



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PROJECT:
MARKET HOUSE
100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
ENLARGED PLANS & ELEVATIONS

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

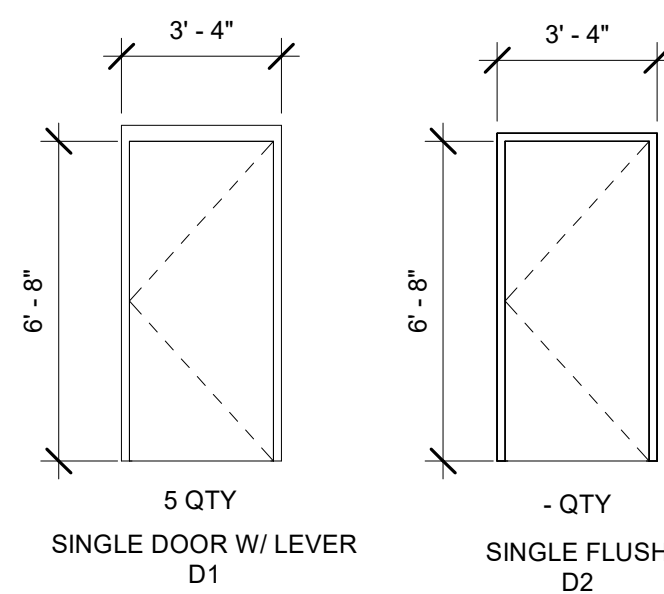
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Date	08-28-2023
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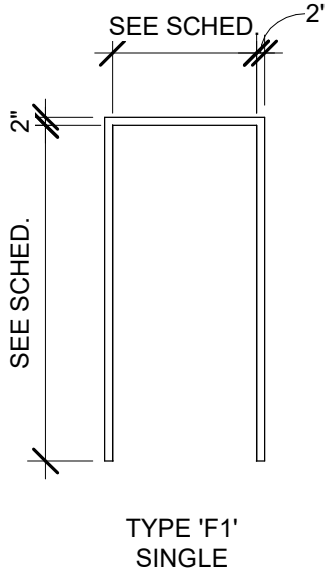
Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

DOOR & FRAME SCHEDULE													
Number	From Room: Name	Width	Height	Door Type	Door Material	Door Finish	Frame Type	Frame Material	Frame Finish	Hardware Set	Fire Rating	Access Control	Comments
Existing													
LEVEL 1													
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	BACK ROOM	2' - 6"	6' - 8"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	VISITOR AREA	7' - 5"	8' - 0"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
LEVEL 2													
EX	UPPER LOBBY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	MULTI-PURPO SE	3' - 0"	6' - 8"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	UPPER LOBBY	2' - 6"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
New Construction													
LEVEL 1													
101	VISITOR AREA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
103	KITCHENETTE	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
104	RESTROOM	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
105A	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	
LEVEL 2													
105B	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	



DOOR TYPES
1/4" = 1'-0"



DOOR FRAME TYPES
1/4" = 1'-0"

DOOR & FRAME ABBREVIATIONS

HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
WD	WOOD
PT	PAINT
ST	STAIN
ALU	ALUMINUM
ANO	ANODIZED
PVDF	FLOUROPOLYMER

FINISH SCHEDULE										
Level	Name	Number	Floor Finish	Base Finish	North Wall	East Wall	South Wall	West Wall	Ceiling Finish	Comments
LEVEL 1	RESTROOM	104								
LEVEL 1	STAIRWAY	107								
LEVEL 1	RESTROOM	103								
LEVEL 1	KITCHENETTE	101								
LEVEL 2	MULTI-PURPOSE	201								
LEVEL 2	STORAGE	202								
LEVEL 2	UPPER LOBBY	200								
LEVEL 1	VISITOR AREA	100								
LEVEL 1	LU/LA	105								
LEVEL 1	BACK ROOM	106								
Not Placed	STORAGE	102								

ITEM	TYPE	MANUFACTURER	NUMBER	DESCRIPTION
TILE				
TL-1	???	???	???	???
TL-2	???	???	???	???
TL-3	???	???	???	???
TL-4	???	???	???	???
TL-5	???	???	???	???
TL-6	???	???	???	???
CARPET				
CP-1	???	???	???	???
WOOD				
WD-1	???	???	???	???
VINYL COMPOSITION TILE				
VCT	???	???	???	???
PAINT				
PT-1	???	???	???	???
PT-2	???	???	???	???
PT-3	???	???	???	???
PT-4	???	???	???	???
STONE				
ST-1	???	???	???	???
BASE				
B-1	???	???	???	???

INTERIOR FINISH LEGEND
1/2" = 1'-0"

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100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443
SHEPHERDSTOWN
DOOR AND FINISH SCHEDULE

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

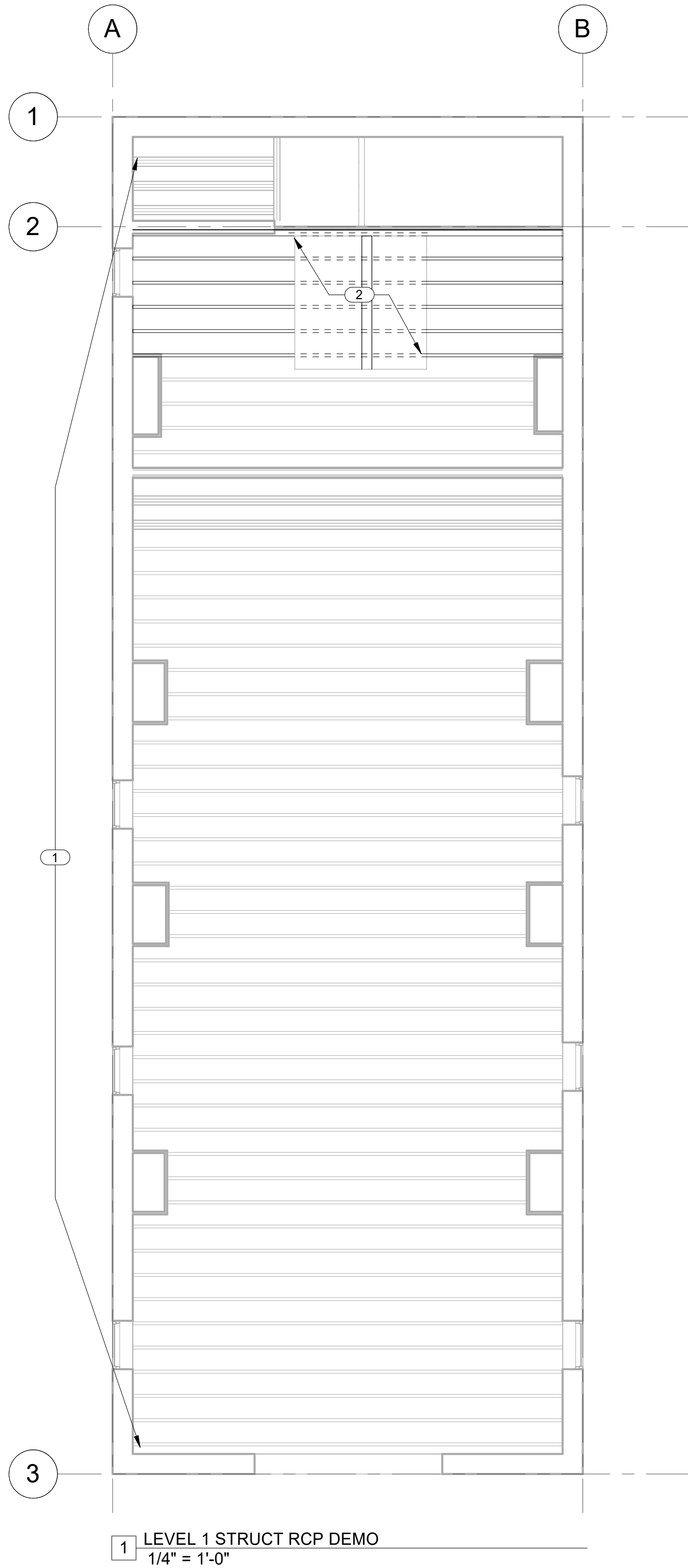
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A600

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE



GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. REMOVE EXISTING CEILINGS AND LIGHT FIXTURES TO EXPOSE FLOOR JOISTS, UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. DEMO EXISTING CEILING AND LIGHT FIXTURES TO EXPOSE STRUCT. FLOOR JOISTS
- 2. SELECTIVE DEMO EXISTING FLOOR JOISTS AND PREP TO REFRAME A SHAFT OPENING SIZED TO ACCOMMODATE LULA AS SPECIFIED.

DEMO LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



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PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

STRUCTURAL DEMOLITION

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
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SCALE REFERS TO 24" X 36" PAPER SIZE

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A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B.

REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C.

ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D.

EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E.

WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

1.

EXISTING FLOOR JOISTS TO BE SISTERED W/ 2X12'S EA. SIDE, TYP. CONTRACTOR TO CONSULT STRUCT. ENGINEER FOR CONNECTION REQ'MNTS.
2.

OPTION TO REMOVE EXISTING FLOORING AND RE-LEVEL FLOOR W/ SISTERED 2X12'S EACH SIDE TO EX. FLOOR JOISTS PRIOR TO REPLACING EX. FLOOR

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SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

STRUCTURAL NEW WORK

Revision Schedule

No.	Revision Description	Date
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Date08-28-2023

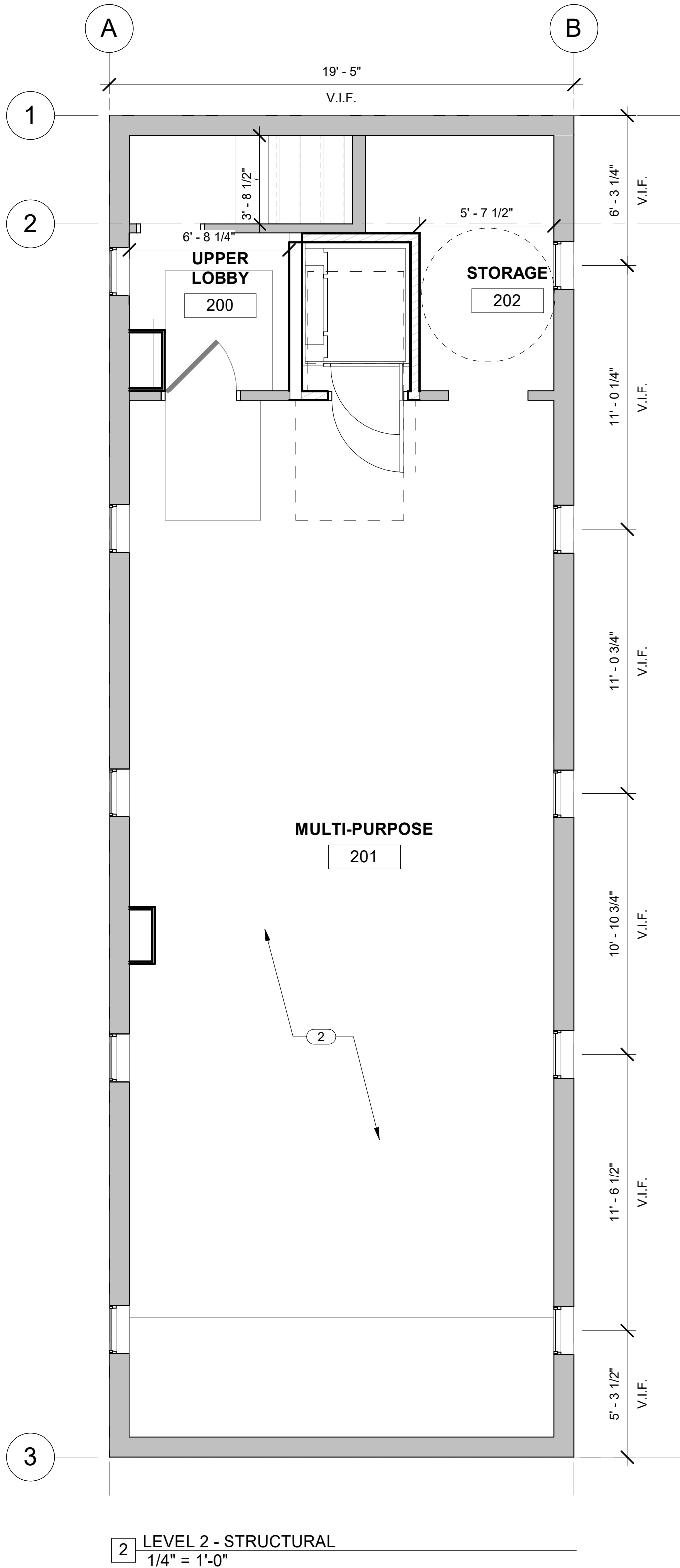
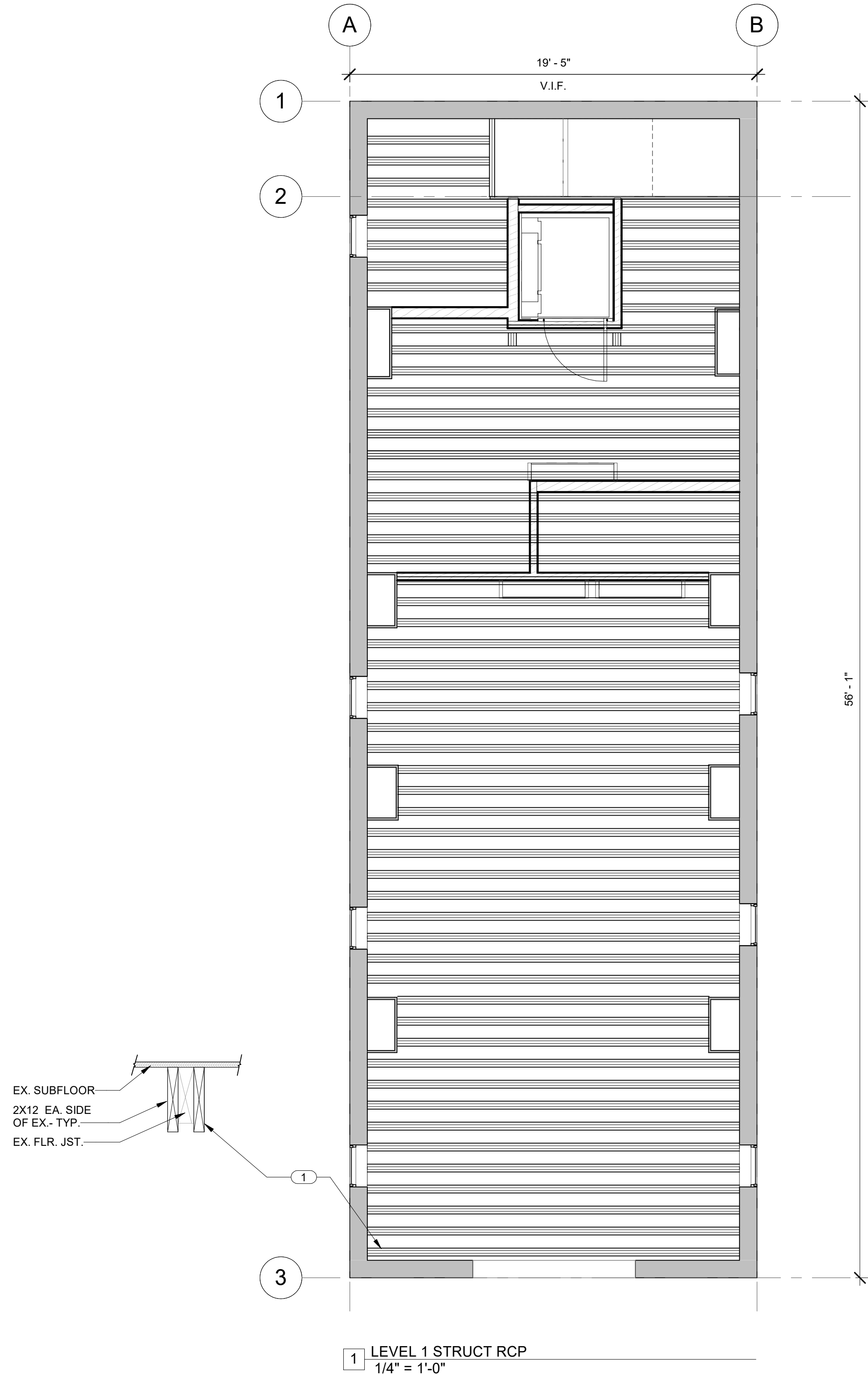
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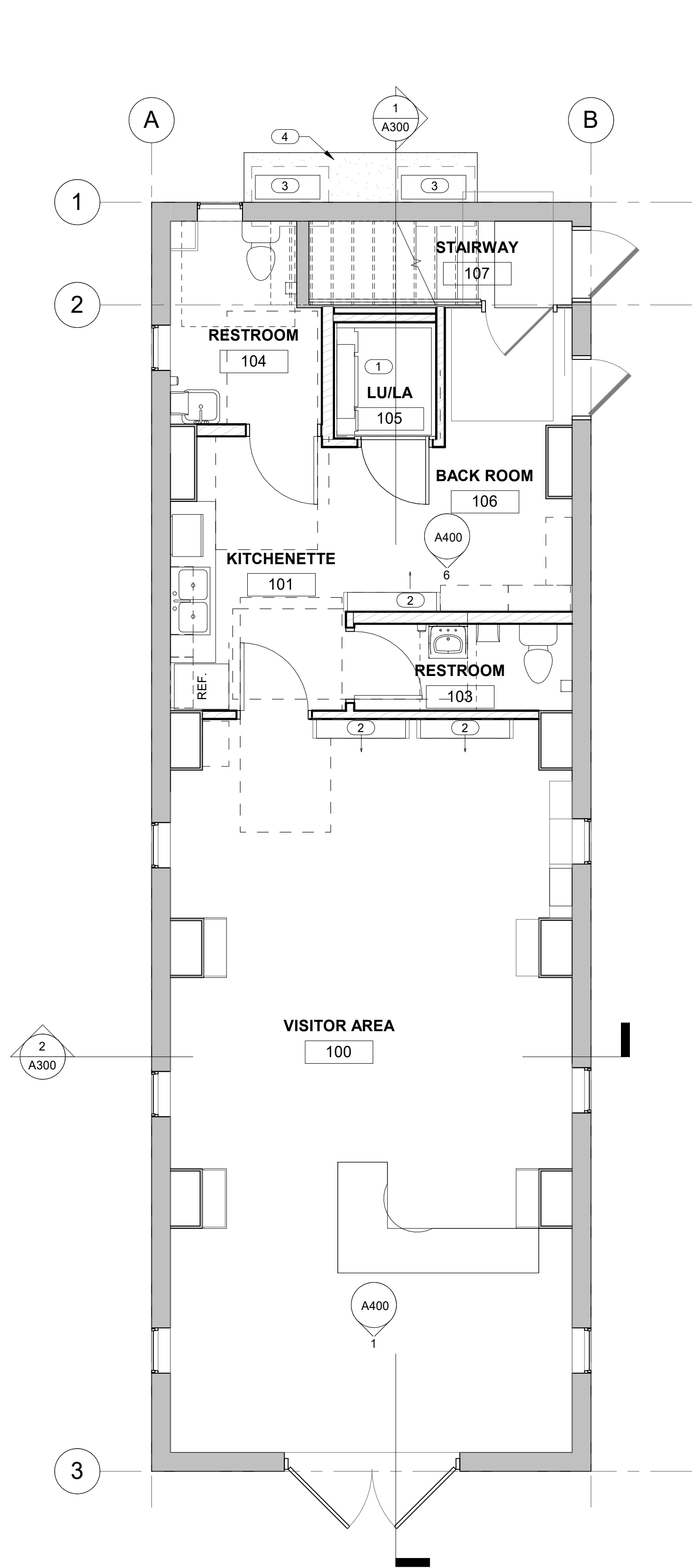
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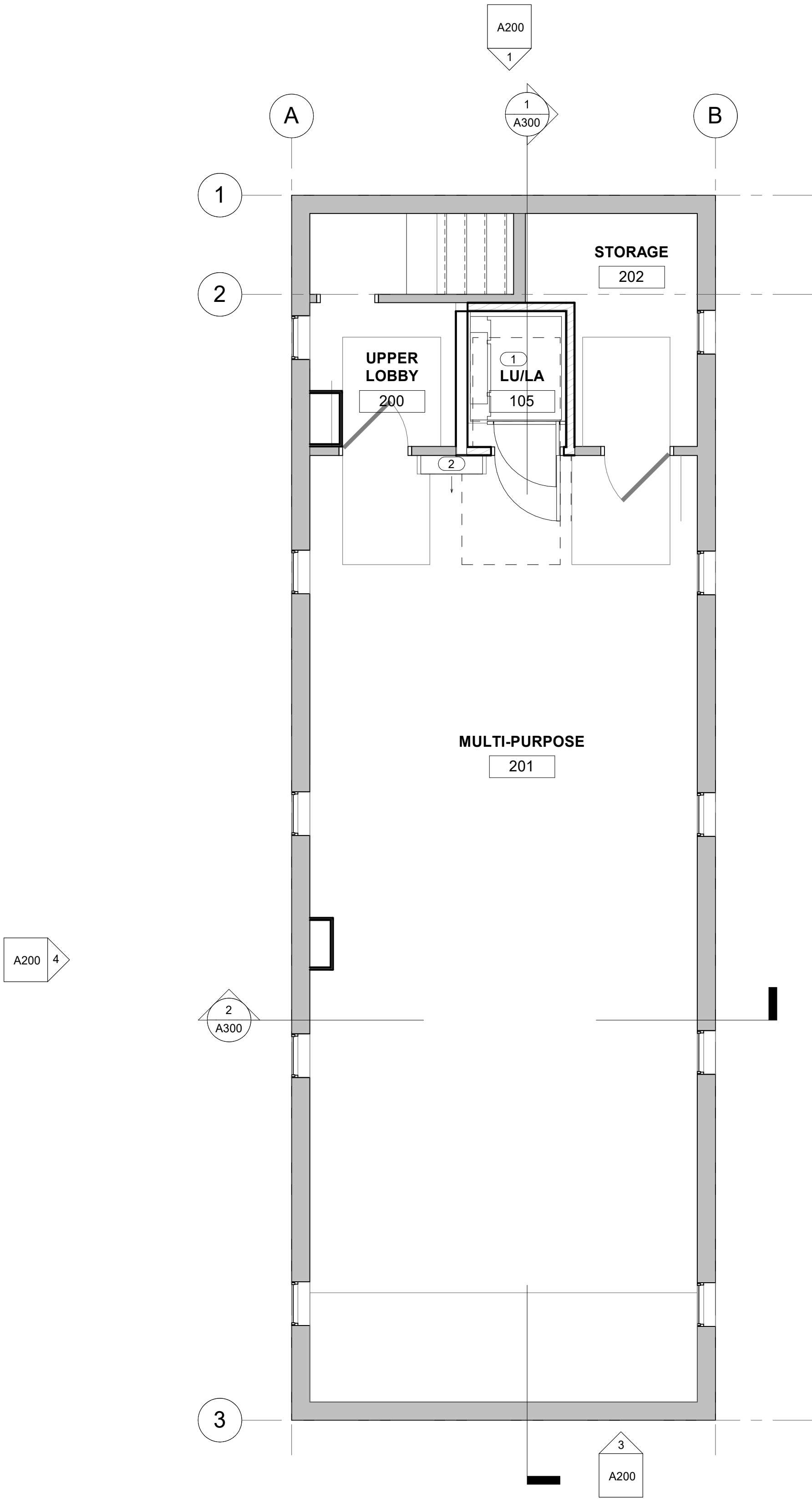
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SCALE REFERS TO 24" X 36" PAPER SIZE





1 LEVEL 1 - MEP NEW WORK
1/4" = 1'-0"



2 LEVEL 2 -MEP NEW WORK
1/4" = 1'-0"

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- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. INSTALL NEW FLOOR MOUNTED GARAVENTA-GENESIS SHAFTWAY SW-360 LU/LA LIFT FOR HANDICAP ACCESS TO SECOND FLOOR
- 2. DAIKIN MINI SPLIT AIR HANDLER MODEL FTX36NVJU
- 3. DAIKIN MINI SPLIT HEAT PUMP MODEL RX36NMVJUA(3 TON)
- 4. SOUND ABSORBING PAD W/ 6" SNOW LEGS, COORD. W/ MANUFACTURERS REQ'MNTS.



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PROJECT:
MARKET HOUSE

100 EAST GERMAN ST.
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SHEPHERDSTOWN

MECHANICAL NEW WORK

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

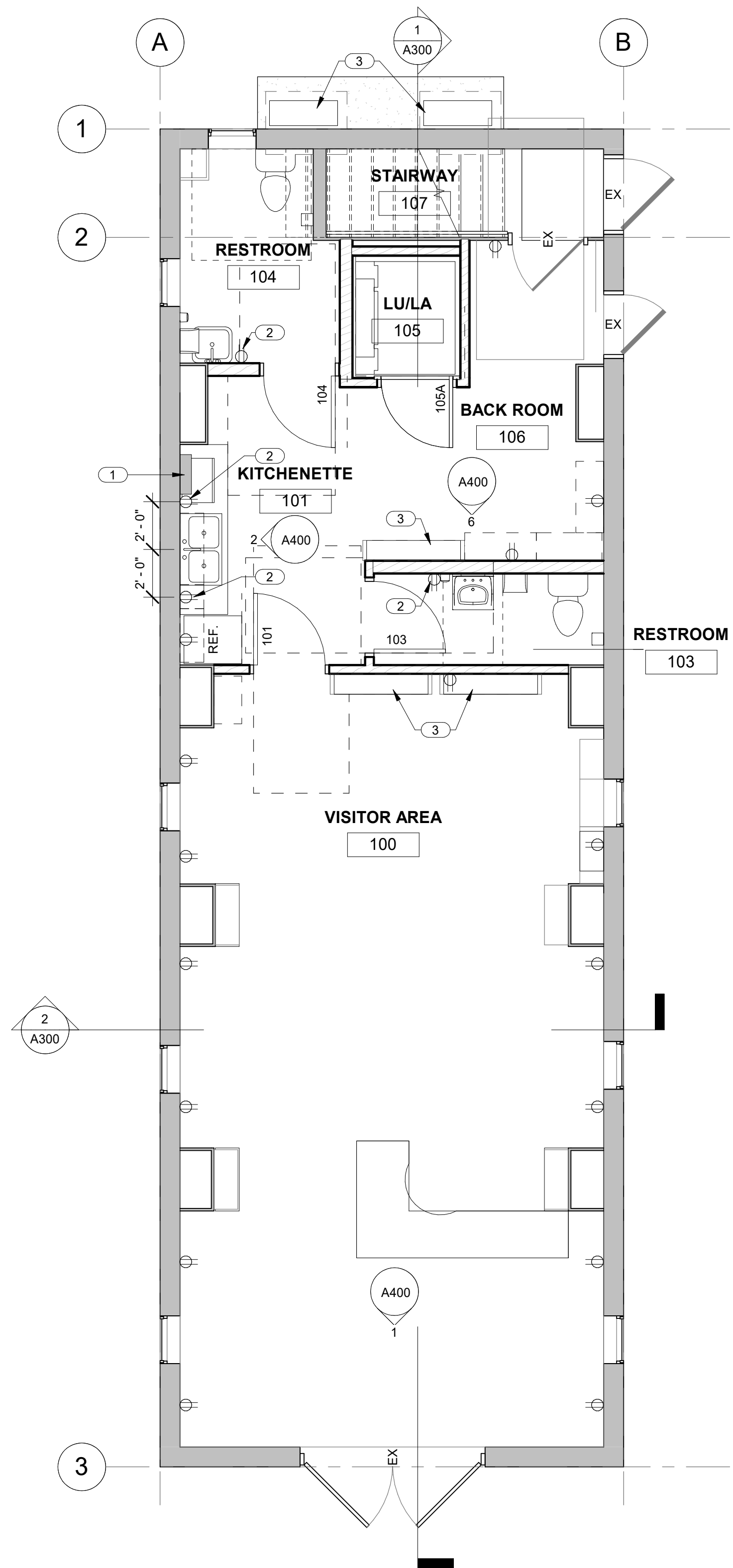
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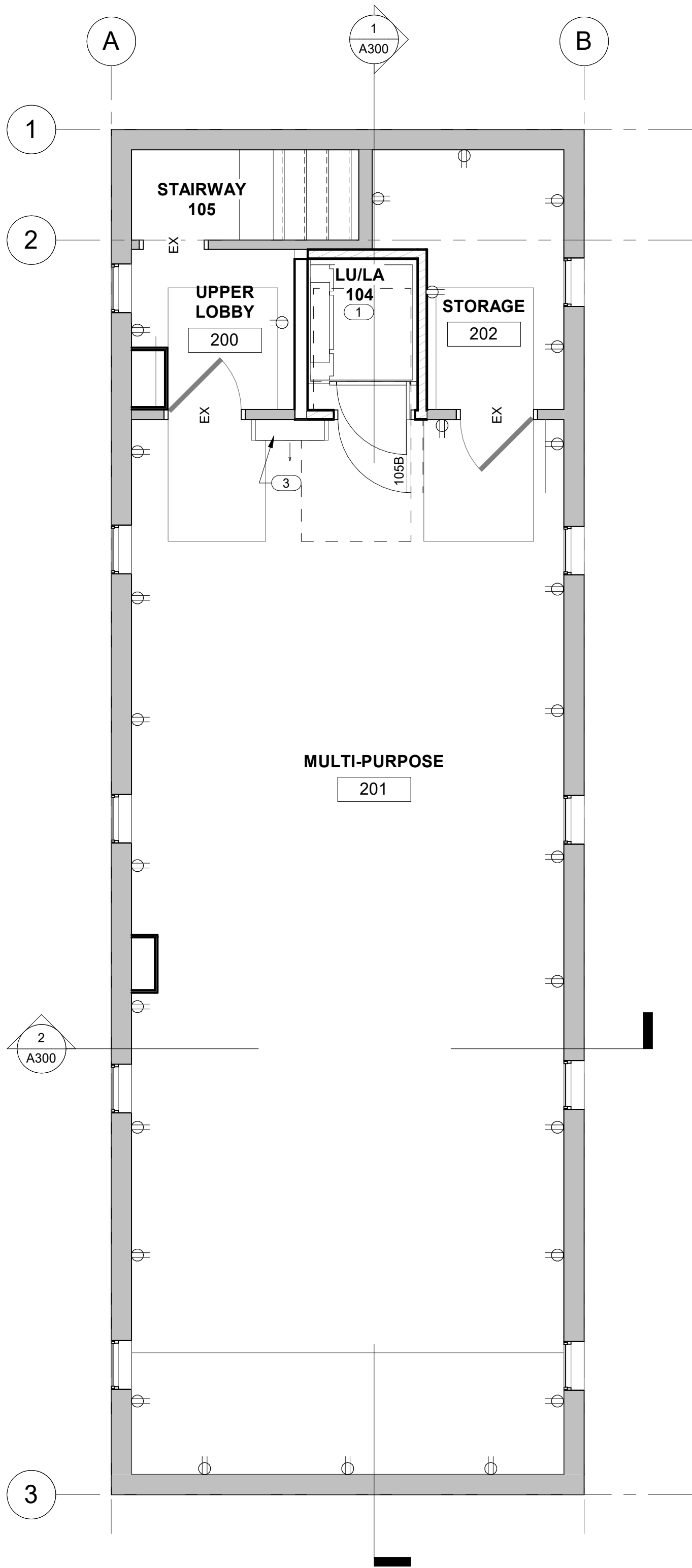
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SCALE REFERS TO 24" X 36" PAPER SIZE



1 LEVEL 1 - ELECTRICAL NEW WORK
1/4" = 1'-0"



2 LEVEL 2 - ELECTRICAL NEW WORK
1/4" = 1'-0"

GENERAL NOTES

1. ALL EXISTING ELECTRICAL CIRCUITS TO BE UPGRADED TO MEET PREVAILING CURRENT ELECTRICAL CODES.
2. FINAL LOCATIONS OF OUTLETS TO BE DETERMINED BY OWNER/TENANT.

KEYED NOTES

1. RELOCATED C/T PANEL.
2. ABOVE COUNTER GFCI OUTLET, CENTERED 44" AFF.
3. COORD. ELECT. REQ'MNTS. W/ MANUF/MECHANICAL FOR NEW MINI-SPLIT SYSTEM.



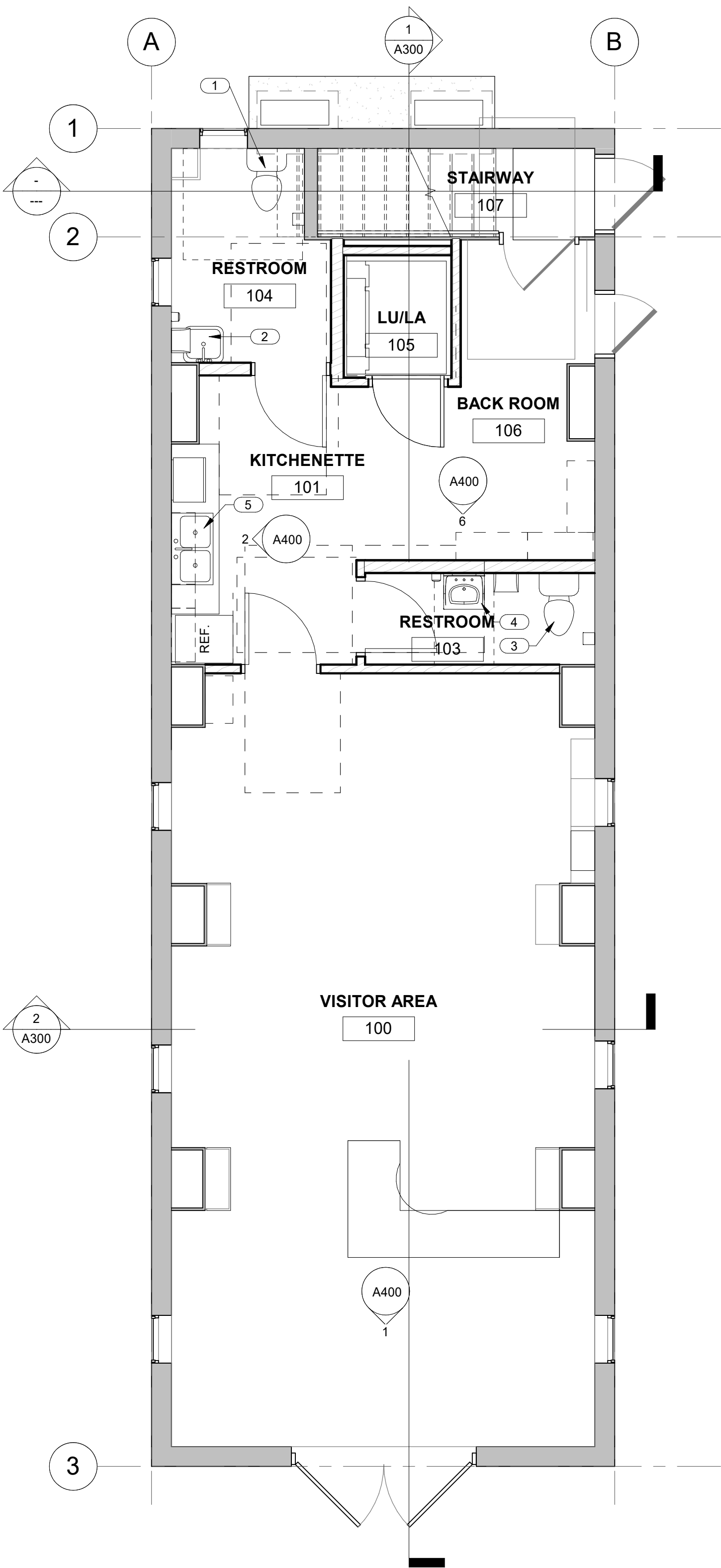
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PROJECT:
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ELECTRICAL NEW WORK

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
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Project number		23-061
Date		08-28-2023
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SCALE REFERS TO 24" X 36" PAPER SIZE		



1 LEVEL 1 PLUMBING NEW WORK
1/4" = 1'-0"

GENERAL NOTES

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KEYED NOTES

- 1. INSTALL NEW ADA TOILET
- 2. INSTALL ADA SINK
- 3. INSTALL NEW TOILET
- 4. INSTALL NEW SINK
- 5. INSTALL NEW KITCHENETTE SINK, SELECTION TBD BY OWNER



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PLUMBING NEW WORK

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

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Project number 23-061

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P002

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE