

**For “in-person” meetings, persons who are not on the agenda but wish to address the governing body must register to speak at least 15 minutes prior to the start of the meeting. For Zoom meetings, the Mayor will canvas attendees for those wishing to speak. Time limits will be imposed. Written comments and/or questions to be addressed at the meeting, must be submitted to [jimauxer@yahoo.com](mailto:jimauxer@yahoo.com) 24 hours before the meeting. Requests for copies of documents related to agenda items must be made in writing at least 24 hours in advance of the meeting, not during the meeting. NOTE: Council members are elected to represent citizens of the Corporation of Shepherdstown, please contact them regarding any questions or comments you may have about the agenda items. This Council follows Robert’s Rules of Order (Revised).**

THE MEETING IS STREAMED ON THE TOWN’S FACEBOOK PAGE  
“SHEPHERDSTOWN, WEST VIRGINIA”

## TOWN COUNCIL MEETING AGENDA

Tuesday, September 12, 2023

6:30 p.m.

TOWN HALL

104 NORTH KING STREET

MASK WEARING IS OPTIONAL

1. Call to order
2. Approval of Town Council Meeting Minutes of August 8, 2023
3. **Public Comment Period**
  - a. Persons who have registered to address Town Council.
4. **Public Hearings**
  - a. A public hearing will be held on Tuesday, September 12, 2023, at 6:30 p.m. at Town Hall (104 North King Street, Shepherdstown, WV) for the purpose of considering a franchise agreement between the Corporation of Shepherdstown and Shenandoah Cable Television, LLC. The franchise agreement pertains to the Town granting a nonexclusive right and privilege to Shenandoah Cable Television, LLC, for the operation of a community antenna television system (CATV) within all areas of the Corporation of Shepherdstown. The term of this agreement is 20 years. The franchise fee to be paid to the Corporation of Shepherdstown is \$250.00 and .05% of the gross revenue derived from the operation of the CATV system during the preceding quarter.

## **5. Visitors**

- a. Event Request
  - i. Rotary Club of Shepherdstown- Annual Christmas Parade – December 2, 2023
  - ii. Christmas In Shepherdstown
- b. JCDA – Edwina Benites, Executive Director
  - Resolution Supporting the Expansion of the YMCA into Jefferson County
  - Small business classes starting in September
  - Our Jefferson County Grown/Made Program
- c. Shepherdstown Fire Department – Marshall DeMeritt, EMS Chief – Funding request for needed small tools and equipment
- d. Frank Hill – Charles Morris II lot consolidation – 218 South Duke Street

## **6. Unfinished Business**

- a. Market House Update
  - Environmental Remediation Proposal
  - Renovation Drawings
- b. Website Update
- c. Rt. 340 Traffic Detour

## **7. Old Business**

## **8. New Business**

## **9. Reports of Committees**

### **A. Finance Committee**

- 1. No meeting in August 2023
- 2. Recommendations: NONE
- 3. Review and approval of General Fund financials

### **B. Parking Committee**

- 1. Meeting minutes of August 2023
- 2. Recommendations: NONE

### **C. Police Committee**

- 1. No meeting in August 2023
- 2. Recommendations: NONE

**D. Public Works Committee**

1. Meeting minutes of Special August 2023 – not available
2. Recommendations: NONE

**E. Parks and Recreation Committee**

1. Meeting minutes of August 2023
2. Recommendations: NONE

**F. Grants Committee**

1. No meeting in August 2023
2. Recommendations: NONE

**G. Age Friendly Committee**

1. Meeting minutes of August 2023 – not available
2. Recommendations: NONE

**H. Personnel Committee**

1. Meeting minutes of August 2023
2. Recommendations: NONE

**I. Recycling Committee**

1. No meeting in August 2023
2. Recommendations: NONE

**10. Report of Commissions and Boards**

**A. Tree Commission**

1. Meeting minutes of August 2023
2. Recommendations: NONE

**B. Water and Sanitary Board**

1. Meeting minutes of August 2023 – not available
2. Recommendations: NONE

**C. Historic Landmarks Commission**

1. Meeting minutes of August 2023 – not available
2. Recommendations: NONE

**D. Planning Commission**

1. Meeting minutes of August 2023 – not available
2. Recommendations:
  - a. Charles Morris II lot consolidation

**E. Board of Appeals**

1. September 19 – High Street - Mickey Duncan – variance request

**11. Mayor's Report**



**Shepherdstown Town Council Meeting Minutes**

**Tuesday, August 8, 2023**

**Town Hall**

**104 North King Street**

**6:30 p.m.**

**Mask Wearing is Optional**

**Also being streamed on the town's Facebook page "Shepherdstown,  
West Virginia"**

**DRAFT**

**Present:** Jim Auxer (Mayor), Lori Robertson (Recorder), Jenny Haynes, Leah Rampy, Chris Stroeck, and Marty Amerikaner.

**Absent:** Cheryl Roberts

**Staff:** Town Clerk Amy Boyd, Director of Public Works Frank Welch, and Zoning Officer Andy Beall.

**Visitors:** Mark Cuccuzzella, Rachael Meads, Jim Ford, and Linda Spatig.

**Agenda Items 1 and 2-Call to order/approval of Town Council Minutes  
(vote required):**

Call to order by Mayor Auxer at 6:30 p.m.

Approval of the Town Council Meeting Draft Minutes of July 11, 2023.

**C. Stroeck - move to approve Town Council Draft Minutes of July 11, 2023 with corrections under Agenda Item 6 - Unfinished Business, d, add Second By J. Haynes. Also, under Agenda Item 10 - Report of Commissions, Authority and Boards, Tree Commission, last paragraph, line 2 there are two periods at the end of the sentence - remove one. Second by L. Rampy with corrections. Motion carried with no objections noted.**

**Agenda Item 3 – Public Comment Period:**

- Persons who have registered to address Town Council.

**Agenda Item 4 – Public Hearings:**

- a. None

**Agenda Item 5 - Visitors:**

Visitor's comments, if any, are logged in under the specific agenda items.

- a. Event Request - Freedom's Run - Mark Cuccuzzella

M. Cuccuzzella - this is year 15 of the Run. The date is October 7. There are no changes from last year. The only race going down German St. is the 11:00 a.m. Kid's Run. Nothing happening on High St. They will need trash, recycling and police support. The port-a-potties will be located on SU campus. Post Covid, the race is coming back stronger each year with 1200 entrees this year. Would like the banners put up by public works in September. Many participants are staying at local AirBnB's and hotels.

**L. Robertson - move to approve Freedom's Run October 7, 2023. Second by J. Haynes. No objections noted.**

b. Event Request - Shepherd University Homecoming Parade - Rachael Meads

R. Meads - The date is October 21. Line-up will be on Church St. and end at S. Princess St. The floats will turn onto S. Princess St. to disperse. She would like to welcome local organizations but they also don't want the parade to be too long. They are looking for Town Council members to be judges for the parade. The prejudging happens at 9:00 a.m. and then again at 10:00 a.m. for the actual parade. If interested, please reach out to Rachael.

**L. Rampy - move to approve Shepherd University Homecoming Parade October 21, 2023. Second by M. Americana. No objections noted.**

c. Event Request - back to School Backpack Give Away - Brother's of Harmony Mason Lodge #42

No discussion or vote as the organizers have asked the event be removed from the agenda entirely.

**Agenda Item 6 – Unfinished Business:**

a. Market House Update – A. Boyd - the design and bid package is 90% complete.

b. Website Update –

A. Boyd - based on Wayfinding, there is a color scheme change. The content is being put on the site now. The drone footage will be done this week. The site will be maintained and updated by her, committee/commission chairs, council, and staff. Maybe a website committee should be considered or the Chairs have an inservice by Amy? Amy wants a structure set up. Some platforms are template driven but also allows some creativity to be entered.

c. Wayfinding - Jefferson County -Project Update -

J. Ford - gave a powerpoint presentation (the powerpoint is on the website in the portal under town council packet). The information presented was based on what was done in Lewisburg, WV, and in conjunction with Bolivar and Harpers Ferry.. The idea is to make the signs consistent in design and materials - some wording is different based on locality. Three different sizes of signs were presented. We can use one on Rt. 480 and Rt. 45. There was discussion regarding the current wording under Shepherdstown that says Forever Contemporary. Many didn't like the word Contemporary and C. Stroeck suggesting the word Unique instead.

**L. Robertson - move two suggest a word change from Contemporary to Unique for the sign as recommendation to the committee. Second by J. Haynes. No objections noted.**

d. Storm Water Grant Update -

A. Beall - we have received a grant via the Chesapeake Bay Trust. The first phase is the Catholic Church issue by capturing the run off from the parking lot to the current retention pond. The goal is to keep the storm water out of the Chesapeake Bay by diverting the water into rain gardens, swells, etc. to hold in place while keeping the water out of the Town Run and the Potomac River. The goal is to do this all over town. Homeowners can help out as well. Shepherd Village has done a good job. Jefferson Security Bank is on board with helping and has allowed barriers to be placed to help with the run.

Mayor - there has been storefront flooding over the years. German Street needs to be milled and repaved. Working with the highway dept. to get Washington and German Streets repaved. The contract is in the packet and has been vetted by town attorney Chazz Printz.

**L. Robertson - move to approve to authorize the Mayor to approve and sign the contract pending further understanding of items 3 and 5 of the contract with an extra provision of \$2500.00. Second by L. Rampy. No objections noted.**

**Agenda Item 7 – Old Business:**

\_\_\_\_\_ a. None

**Agenda Item 8 – New Business:**

\_\_\_\_\_ a. Request for Town to participate in the “Go Purple” initiative in support of addiction recovery.

**L. Robertson - move to move ahead with the request for the Town to participate in the “Go Purple” initiative in support of addiction recovery, and to have the Mayor sign a proclamation once it is ready. Second by C. Stroeck. No objections noted.**

**Agenda Item 9 – Reports of Committees:**

**A. Finance Committee:**

1. No Meeting July 2023

2. Recommendations:

a. Review and approval of General Fund Financials

Mayor - we haven't gotten the wine and beer tax yet.

M. Amerikaner - what is the special fund?

A. Boyd - it's the ARPA money for the waste water plant upgrade.

F. Welch - the plant got a new press and we had some money left over.

**L. Rampy - move to approve the Corporation Financials as written. Second by J. Haynes. No objections noted.**

**B. Parking Committee:**

1. No meeting in July 2023
2. Recommendations: None

**C. Police Committee:**

1. No meeting in July 2023
2. Recommendations: None

**D. Parks and Recreation Committee:**

1. Meeting minutes of July 2003 - not available
2. Recommendations: None

**E. Public Works Committee:**

1. Meeting minutes of July 2023
2. Recommendations: None

**F. Path Advisory Committee**

1. No meeting July 2023
2. Recommendations: None

**G. Grants Committee**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**H. Age Friendly Committee**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**I. Personnel Committee**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**J. Recycling Committee**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None
3. Glass recycling - no discussion

**Agenda item 10 – Report of Commissions, Authority and Boards:**

**A. Historic Landmarks Commission:**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**B. Planning Commission:**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**C. Tree Commission**

1. Meeting minutes of July 2023 - not available
2. Recommendations: None

**D. Water and Sanitary Board:**

1. Meeting minutes of July 27, 2023 - not available
2. Recommendations: None

**E. Board of Appeals**

1. None scheduled.

**Agenda Item 11 - Mayor's Report:**

- \* Rt. 340 will be closing September 12 for 90 days/5 days a week.
- \* The JCDA is working with other avenues regarding the train traffic. There will be a mayor's meeting next Wednesday to talk about the train issues.
- \* Thanks to Shepherdstown Street Fest for a super festival and being able to donate to two charities.
- \* We are one of the friendliest towns in WV according to an online site - people can go on and vote.
  
- \* C. Stroeck wanted to mention that he is starting to work on an ordinance to fine for vacant businesses/buildings. He will run it through Finance and Public Works.

**L. Robertson – move to adjourn at 7:41 p.m. Second by J. Haynes. No objections noted.**



Draft Minutes respectfully submitted by L. Robertson, Recorder for the Corporation of Shepherdstown.

# Corporation of Shepherdstown



## Event/Park Request Form

Applications and fees are due at least ninety (90) days prior to the event unless otherwise noted.

Any form of advertising of this event, prior to approval by Town Council, is done at applicant's own risk.

Please read and complete entire application. An incomplete application may result in denial or delay of request. The Corporation of Shepherdstown reserves the right to approve or deny any event request.

Organization:	ROTARY CLUB OF SHEPHERDSTOWN
Contact Name:	PETER SMITH
Mailing Address:	PO BOX 603
City, State, Zip:	SHEPHERDSTOWN, WV 25443
E-mail Address:	PVSMITH@FRONTIER.NET.NET
Daytime Phone:	304-876-1139
Evening Phone:	" "
Cell Phone:	304-579-9114

1.) Name and Complete Description of Event including location if other than one of our Parks: <i>attach on separate sheet if necessary</i> 2.) Has this event been held in Shepherdstown in the past?	ANNUAL CHRISTMAS PARADE
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	<i>If yes, on a separate sheet, please provide event dates (last three years) and describe any scheduling conflicts with other events that occurred in prior years or potential conflicts for the current requested event</i>
3.) Is this a "one-time" event?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
4.) Date and Time of Event: <u>12/02/23</u> 4a.) Set Up Time <u>8:30 AM</u> 4b.) Tear Down Time <u>11:00 AM</u>	From:      To: <u>10:00</u> am/pm <u>11:00</u> am/pm

5.) Park Requested, if applicable:	<input type="checkbox"/> Bane-Harris \$100	<input type="checkbox"/> Cullison \$100	<input type="checkbox"/> Rumsey \$500	<input type="checkbox"/> Viola-Devonshire \$100
6.) Are street closures requested?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please provide, on the attached map, streets that need to be closed. If having a parade, provide parade route. Alleys must be kept open. (No Exceptions)			
7.) Is event open to the public?	<input checked="" type="checkbox"/> Yes		<input type="checkbox"/> No	
8.) What are the parking arrangements?	PARADE WILL FORM UP ON CHURCH STREET. SPECTATORS WILL BE EXPECTED TO USE SHEPHERDSTOWN LOTS.			
9.) Will entertainment be involved?	Any entertainment must be approved by the Town Council.			
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, give details w/# groups, type of music, time of performance(s) etc. See Noise Ordinance	<input checked="" type="checkbox"/> Live Bands 1 PARADE	<input type="checkbox"/> DJ	<input type="checkbox"/> Radio/CD Player	<input type="checkbox"/> Other: Explain
10.) Will other equipment be used? (i.e. generator, tents, inflatables, etc.) If yes, give details.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No PARADE SOUND SYSTEM WILL BE SET UP ON AC MOUNTAIN HALL LAWN			
11.) Are you a non-profit organization? If yes, provide certification of non-profit status.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
12.) Will vendors be at the event? If yes, give details including complete list of vendors and contact information.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
13.) Will event participants be charged a fee? If yes, what is the cost?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
14.) Will admission be charged for the event? If yes, what is the cost?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Cost _____			
15.) Number of people expected to attend:	<input type="checkbox"/> less than 50	<input type="checkbox"/> 51-100	<input type="checkbox"/> 101-150	<input checked="" type="checkbox"/> more than 150
16.) Name & contact info. for two (2) people with authority that will be present at event:	Name: PETER SMITH		Phone: 304-579-9114	
	Name: DEOLY PRYDE		Phone: 304-671-4080	
17.) Check any Town assistance needed:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Police	<input type="checkbox"/> Public Works	
	<input type="checkbox"/> Recycling	<input type="checkbox"/> Other		
18.) Will alcoholic beverages be served?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, the Shepherdstown Open Container Ordinance must be suspended by action of the Town Council for this day's event.	If yes, you must contact the WV Alcohol Beverage Control Commission to obtain a "one day" license.			

19.) How will this event benefit  
Shepherdstown?

PROVIDE WHOLESALE ENTERTAINMENT  
& PHONE TO TOWN IS U.

Requirements:

- All event requests must be applied for at least 90 days prior to the event date.
- For park events, notification of the event must be provided, in writing, to all neighbors within two blocks of the event location (a copy of this notification must be provided to the Town)
- If this is a parade, walk or run, give details including map of route to be taken.
- General liability insurance coverage of no less than one million dollars (\$1,000,000) reflecting the Corporation of Shepherdstown as additionally insured.
- If assistance from the Police or Public Works Department is needed for the event, you will be responsible for contacting the respective departments.
- Payment of costs incurred during the event must be paid within one week following the event (i.e. Assistance from the Police Department or Public Works Department).
- All required information must be submitted at least two weeks prior to the Town Council meeting.

Corporation of Shepherdstown

It is hereby agreed and understood that GENMAR ST. is reserved, as specified, for the use of the above named organization and/or individual. The Facility reserved is subject to inspection by any authorized representative of the Corporation of Shepherdstown in order to assure proper use of Town property. This permit must be in the possession of the organization and/or individual to whom it is issued and shown upon request to any authorized Town Official.

The organization and/or individual assumes personal liability and responsibility for any and all costs of cleanup of the premises, loss, breakage, damage to or removal of Town property and further assumes liability and responsibility for the conduct and good order of the group and its invitees and guests.

The organization and/or individual shall be responsible for any and all loss, damage or injury to any and all personal property that it or its agents, representatives, invitees or guests, may bring to, store at, or leave at the facility, and shall indemnify and hold harmless the Corporation of Shepherdstown and any department, agent, official and/or employee thereof for any personal injury incurred during, or as a result of such use. The organization and/or individual further agrees to abide by all procedures, policies, and rules governing use of the above-mentioned facility.

☒ I have read and agree to these responsibilities.

Signature of Organization and/or Individual: \_\_\_\_\_

Date: 8/24/23

Any individual under the age of 21 must have the signature of a parent or guardian who shall assume any and all responsibility and liability as set forth above and the person signing must be in attendance at the rental event.

Parent/Guardian: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Phone: \_\_\_\_\_

PLEASE NOTE APPROVAL IS REQUIRED FOR USE OF THE PARK FACILITIES. Once approved, this permit will be issued.

FOR OFFICE USE ONLY

Rental Fee: \$ _____	<input type="checkbox"/> Cash	<input type="checkbox"/> Denied
Date Paid: _____	<input type="checkbox"/> Check	
<input type="checkbox"/> Approved		
Approved by: _____		
Title: _____	Date: _____	Comments: _____ _____ _____

## Checklist

(To be completed by the Corporation of Shepherdstown)

- ☐ Complies with 90 day notice
- ☐ Insurance certificate provided
- ☐ Police or Public Works Department fees paid (if applicable)
- ☐ Park fee paid (if applicable)
- ☐ Open Container Ordinance Suspended (if applicable)
- ☐ Amplified Sound Use (if applicable)
- ☐ Vendor's list (if applicable)
- ☐ Date approved by Town Council \_\_\_\_\_

## **Addendum to 2023 Christmas in Shepherdstown Parade event request**

2. **EVENT HISTORY.** There has been a Christmas in Shepherdstown celebration in the town annually since 1988, and the celebration has included a Christmas parade for many of those years. In 2015, when Shepherd University hosted a NCAA Division II playoff football game, the parade's traditional 11:00 a.m. start time exacerbated traffic and parking problems. Therefore, in 2016 we moved the start time of that year's parade up one hour, to 10:00 a.m. The start time has remained there ever since, in large part because it makes it easier for parade entries to participate in both our parade and Charles Town's, which is held in the afternoon of the same day.

6. **STREET CLOSURES.** As in previous years, this year's parade route will be limited to the section of German Street between Church and Princess streets. The parade will form up on Church Street, with most of the units in the blocks south of German Street and horses and horse-drawn units in the block between German and High streets. The parade will disperse on Princess Street.

**Therefore, we are requesting the following closures:**

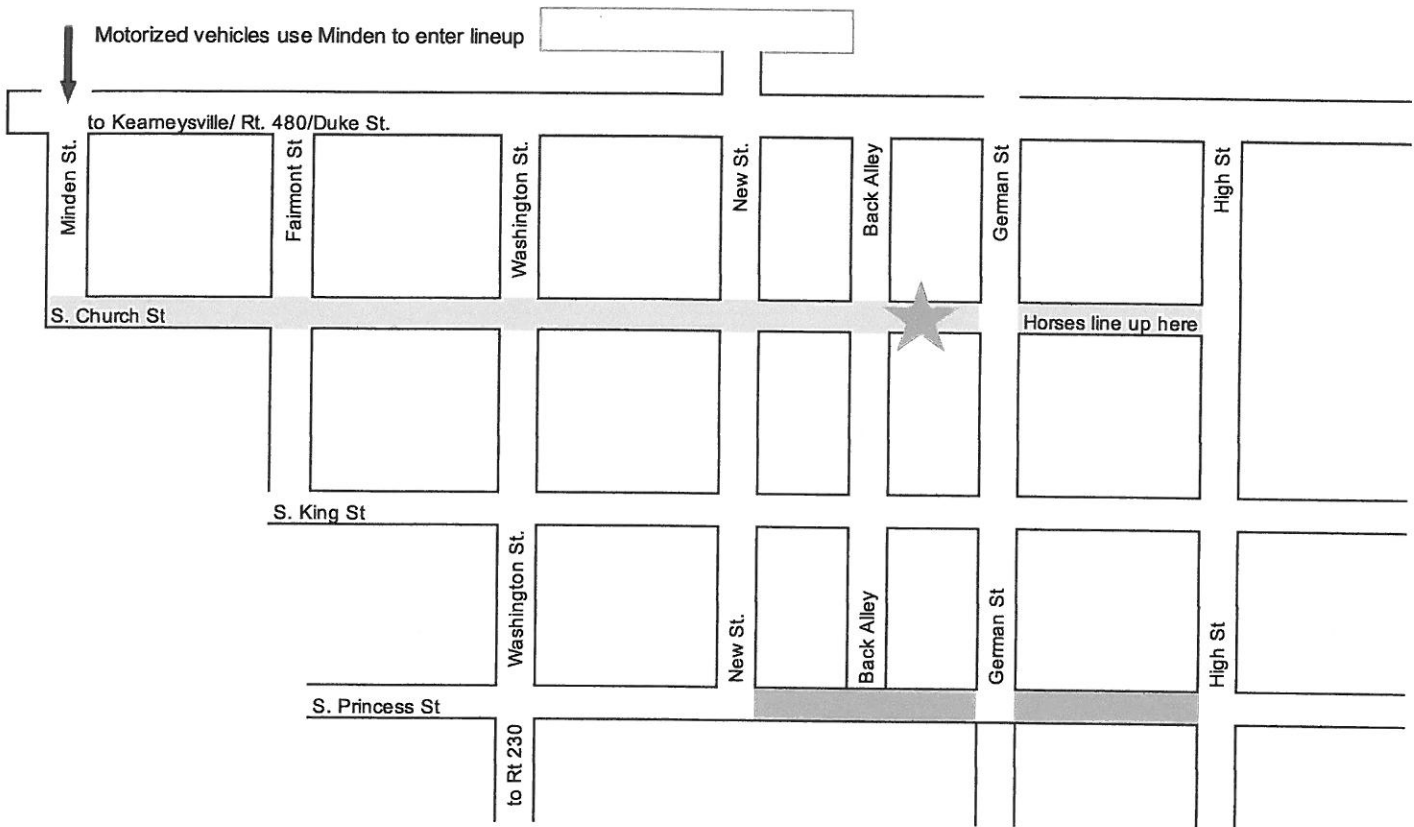
1.) **The two + blocks of Church Street between German Street and the town line just south of Washington Street and the block between German and High streets from 8:30 am until approximately 11:00 a.m. (We also ask that the meters in the block between German and Church streets be hooded the night before, with "no parking" signs or cones posted in that area.)**





2.) **German Street, between Church and Princess streets, from 9:30 a.m. until the end of the parade at 11:00 a.m. or so.**

3.) **The block of Princess Street between German and High streets from 10:00 a.m. until 11:00 a.m.**

**In addition, we are asking that the King Street parking spaces designated for Town Hall business along the McMurrin Hall wall across from Town Hall be blocked off the night before with "no parking" signs or cones, so that Welsh Sound can use this area to park its truck and offload sound equipment for the parade.**

## Shepherdstown Xmas parade



-  Parade entries will line up on Church Street (access restricted 9:30 am-12 noon)  
 Parade coordinator will be stationed here  
 Parade route (closed to traffic 11:00 am-12 noon)  
 Parade entries disperse here (closed to traffic 11:00 am-12 noon)





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
08/22/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Arthur J. Gallagher Risk Management Services, Inc. 2850 Golf Road Rolling Meadows IL 60008		<b>CONTACT NAME:</b> Toni Hanes <b>PHONE (A/C, No, Ext):</b> 1-833-3ROTARY <b>E-MAIL:</b> rotary@ajg.com <b>ADDRESS:</b>		<b>FAX (A/C, No):</b> 830-285-4082
		<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
		INSURER A : Westchester Surplus Lines Insurance Company		10172
<b>INSURED</b>  All Active US Rotary Clubs & Districts  ATTN: Risk Management Dept. 1560 Sherman Ave. Evanston, IL 60201-3698		INSURER B :		
		INSURER C :		
		INSURER D :		
		INSURER E :		
		INSURER F :		

**COVERAGES****CERTIFICATE NUMBER:** 899307648**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Liquor Liability Included GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		G73578917 002	7/1/2023	7/1/2024	EACH OCCURRENCE \$2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$500,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$2,000,000 GENERAL AGGREGATE \$4,000,000 PRODUCTS - COMP/OP AGG \$4,000,000 \$
A	<input type="checkbox"/> AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			G73578917 002	7/1/2023	7/1/2024	COMBINED SINGLE LIMIT (Ea accident) \$2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$			NOT APPLICABLE			EACH OCCURRENCE \$ AGGREGATE \$ \$
	<input type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A		NOT APPLICABLE			PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The Certificate Holder is included as an additional insured where required by written contract or permit subject to the terms and conditions of the general liability policy, but only to the extent bodily injury or property damage is caused in whole or in part by the acts or omissions of the insured.

**CERTIFICATE HOLDER**Corporation of Shepherdstown  
PO Box 248  
Shepherdstown, WV 25443  
Re: Rotary Club of Shepherdstown WV  
2023 Shepherdstown Christmas parade on Dec. 2, 2023**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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Internal Revenue Service  
District Director

Department of the Treasury

P. O. Box 2508  
Cincinnati, OH 45201

Date: OCT 15 1993

Person to Contact:

Lois Parrott

Telephone Number:

513-684-3957

Refer Reply to:

EP/EO

Employer Identification Number:

55-0672314

Group Exemption Letter:

0573

Rotary International  
Shepherdstown Rotary Club  
P. O. Box 603  
Shepherdstown, WV. 25443-0603

OCT 19 1993

Dear Sir or Madam:

COX ALLEMONG NICHOLS WAS

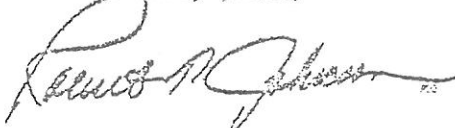
This is in response to your request for a copy of your determination letter.

Our records indicate that you are included in a group ruling issued to Rotary International National Headquarters which is located in Evanston, Illinois. Our records indicate that your organization is exempt from Federal income tax under section 501(c)(4) of the Internal Revenue Code.

There is no individual exemption letter for your organization, since you are included in a group ruling. The group exemption letter applies to all of the subordinate organizations on whose behalf the Rotary International has applied for recognition of exemption. If you want a copy of the group exemption letter, please contact your parent organization.

If we can be of further assistance in this matter, please contact us.

Sincerely yours,



Robert T. Johnson  
District Director

NOTICE: Representation is required at meeting where this application will be reviewed.

# Corporation of Shepherdstown



## Event/Park Request Form

Applications and fees are due at least ninety (90) days prior to the event unless otherwise noted.

Any form of advertising of this event, prior to approval by Town Council, is done at applicant's own risk.

Please read and complete entire application. An incomplete application may result in denial or delay of request. The Corporation of Shepherdstown reserves the right to approve or deny any event request.

Organization:	Shepherdstown Visitors Center, Inc., dba Experience Shepherdstown
Contact Name:	Jenny Haynes & Steve Pearson
Mailing Address:	PO Box 329
City, State, Zip:	Shepherdstown WV 25443
E-mail Address:	ExperienceShepherdstown@gmail.com
Daytime Phone:	304-279-8788 (Jenny Haynes cell)
Evening Phone:	304-741-0033 (Steve Pearson cell)
Cell Phone:	

1.) Name and Complete Description of Event including location if other than one of our Parks: <i>attach on separate sheet if necessary</i> 2.) Has this event been held in Shepherdstown in the past?	Welcome To Christmas In Shepherdstown			
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
	<i>If yes, on a separate sheet, please provide event dates (last three years) and describe any scheduling conflicts with other events that occurred in prior years or potential conflicts for the current requested event</i>			
3.) Is this a "one-time" event?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
4.) Date and Time of Event: 11 / 24 / 2023 4a.) Set Up Time      Noon (bonfire setup) 4b.) Tear Down Time      10:00 pm	From: 4:30 pm      am/pm      To: 9:00 pm      am/pm			
5.) Park Requested, if applicable:	<input type="checkbox"/> Bane-Harris \$100	<input type="checkbox"/> Cullison \$100	<input type="checkbox"/> Rumsey \$500	<input type="checkbox"/> Viola-Devonshire \$100
6.) Are street closures requested?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If yes, please provide, on the attached map, streets that need to be closed. If having a parade, provide parade route. Alleys must be kept open. (No Exceptions)</i>			
7.) Is event open to the public?	<input checked="" type="checkbox"/> Yes		<input type="checkbox"/> No	

NOTICE: Representation is required at meeting where this application will be reviewed.

8.) What are the parking arrangements? <i>Please explain.</i>	Street parking, University parking lots			
9.) Will entertainment be involved? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If yes, give details w/# groups, type of music, time of performance(s) etc. See Noise Ordinance</i>	Any entertainment must be approved by the Town Council.			
	<input type="checkbox"/> Live Band	<input type="checkbox"/> DJ	<input type="checkbox"/> Radio/CD Player	<input checked="" type="checkbox"/> Other: Explain
	Mayor's speech, Mrs. Claus, pre-recorded music			
10.) Will other equipment be used? (i.e. generator, tents, inflatables, etc.) If yes, give details.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
11.) Are you a non-profit organization? <i>If yes, provide certification of non-profit status.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
12.) Will vendors be at the event? <i>If yes, give details including complete list of vendors and contact information.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
13.) Will event participants be charged a fee? <i>If yes, what is the cost?</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
14.) Will admission be charged for the event? <i>If yes, what is the cost?</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Cost			
15.) Number of people expected to attend:	<input type="checkbox"/> less than 50	<input type="checkbox"/> 51-100	<input type="checkbox"/> 101-150	<input checked="" type="checkbox"/> more than 150
16.) Name & contact info. for two (2) people with authority that will be present at event:	Name: Jenny Haynes		Phone: 304-279-8788	
	Name: Judy Shepherd		Phone: 304-279-3806	
17.) Check any Town assistance needed:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Police	<input checked="" type="checkbox"/> Public Works	
	<input type="checkbox"/> Recycling	<input type="checkbox"/> Other		
18.) Will alcoholic beverages be served? <i>If yes, the Shepherdstown Open Container Ordinance must be suspended by action of the Town Council for this day's event.</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>If yes, you must contact the WV Alcohol Beverage Control Commission to obtain a "one day" license.</i>			
19.) How will this event benefit Shepherdstown?	Attracts local residents (Jefferson County & surrounding areas) to town. Awareness & promotion of shopping & dining in Shepherdstown.			

Requirements:

- All event requests must be applied for at least 90 days prior to the event date.
- For park events, notification of the event must be provided, in writing, to all neighbors within two blocks of the event location (a copy of this notification must be provided to the Town)
- If this is a parade, walk or run, give details including map of route to be taken.
- General liability insurance coverage of no less than one million dollars (\$1,000,000) reflecting the Corporation of Shepherdstown as additionally insured.
- If assistance from the Police or Public Works Department is needed for the event, you will be responsible for contacting the respective departments.
- Payment of costs incurred during the event must be paid within one week following the event (i.e. Assistance from the Police Department or Public Works Department).
- All required information must be submitted at least two weeks prior to the Town Council meeting.

Corporation of Shepherdstown

It is hereby agreed and understood that \_\_\_\_\_ is reserved, as specified, for the use of the above named organization and/or individual. The Facility reserved is subject to inspection by any authorized representative of the Corporation of Shepherdstown in order to assure proper use of Town

NOTICE: Representation is required at meeting where this application will be reviewed.

property. This permit must be in the possession of the organization and/or individual to whom it is issued and shown upon request to any authorized Town Official.

The organization and/or individual assumes personal liability and responsibility for any and all costs of cleanup of the premises, loss, breakage, damage to or removal of Town property and further assumes liability and responsibility for the conduct and good order of the group and its invitees and guests.

The organization and/or individual shall be responsible for any and all loss, damage or injury to any and all personal property that it or its agents, representatives, invitees or guests, may bring to, store at, or leave at the facility, and shall indemnify and hold harmless the Corporation of Shepherdstown and any department, agent, official and/or employee thereof for any personal injury incurred during, or as a result of such use. The organization and/or individual further agrees to abide by all procedures, policies, and rules governing use of the above-mentioned facility.

☒ I have read and agree to these responsibilities.

Signature of Organization and/or Individual: \_\_\_\_\_

Date: September 6 2023

Any individual under the age of 21 must have the signature of a parent or guardian who shall assume any and all responsibility and liability as set forth above and the person signing must be in attendance at the rental event.

Parent/Guardian: \_\_\_\_\_

Date: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Phone: \_\_\_\_\_

PLEASE NOTE APPROVAL IS REQUIRED FOR USE OF THE PARK FACILITIES. Once approved, this permit will be issued.

FOR OFFICE USE ONLY	
Rental Fee: \$ _____	<input type="checkbox"/> Cash
Date Paid: _____	<input type="checkbox"/> Check
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Approved by: _____	Comments: _____
Title: _____ Date: _____	_____
	_____
	_____

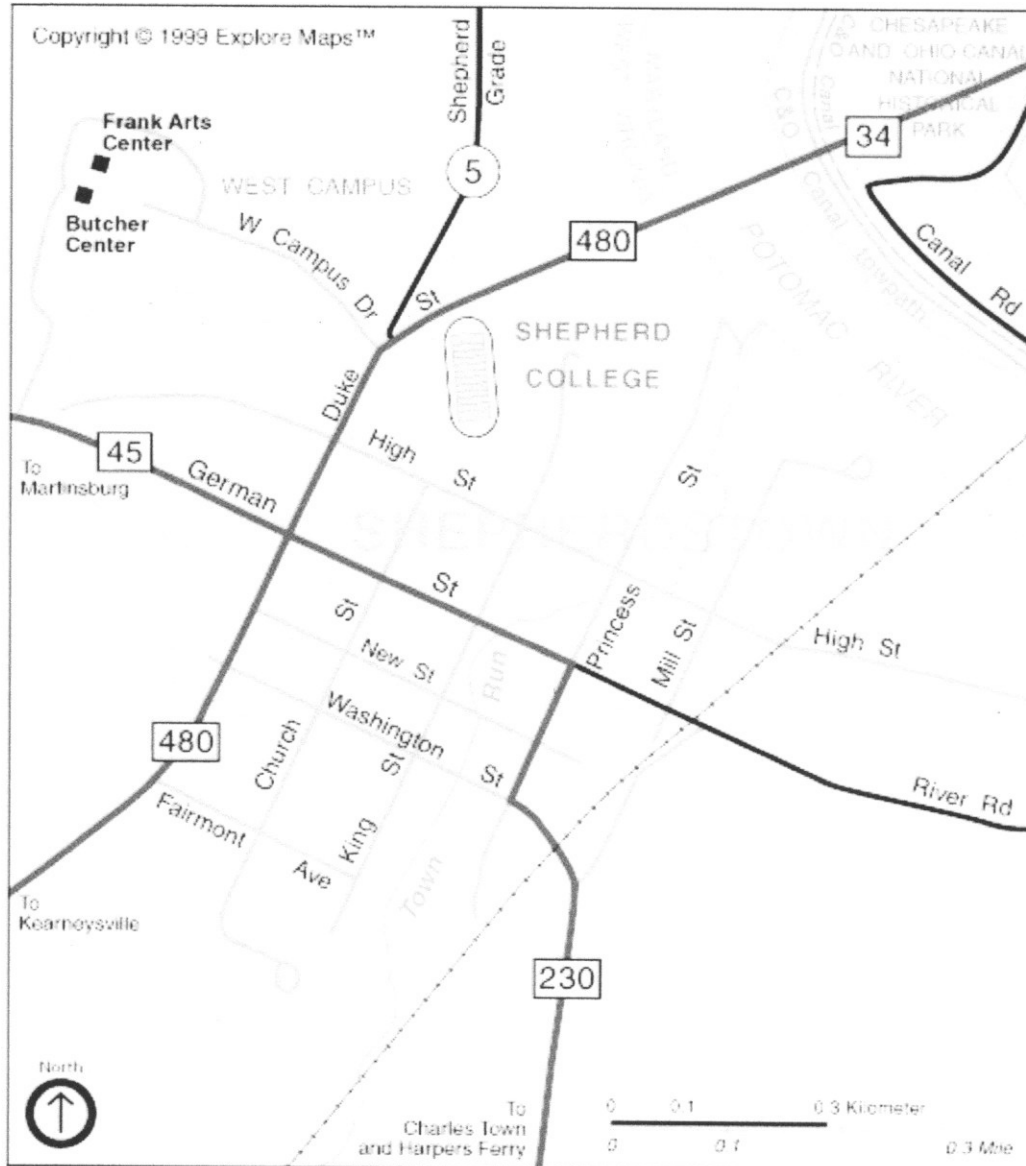
NOTICE: Representation is required at meeting where this application will be reviewed.

### Checklist

(To be completed by the Corporation of Shepherdstown)

- ☐ Complies with 90 day notice
- ☐ Insurance certificate provided
- ☐ Police or Public Works Department fees paid (if applicable)
- ☐ Park fee paid (if applicable)
- ☐ Open Container Ordinance Suspended (if applicable)
- ☐ Amplified Sound Use (if applicable)
- ☐ Vendor's list (if applicable)
- ☐ Date approved by Town Council \_\_\_\_\_

**NOTICE: Representation is required at meeting where this application will be reviewed.**



**King Street (between German Street & Old Queen Alley):** close at noon for bonfire setup (SVFD setup begins at noon, wood delivery expected 1 - 3 pm, fire lighting at 3 pm, s'mores from 5 pm until 9 pm); cleanup by 10 pm.

**German Street (Church Street to Princess Street):** close for Santa arrival on fire truck -- 6 pm to 7 pm

**McMurrin Lawn:** 6:00 pm - Mrs Claus & company, 6:30 pm - Mayor's speech, 6:30 pm - Santa arrives; 7:00 - 9:00 pm - visit with Santa (inside McMurrin Hall)



- 2023 -	TIMES	EVENT / ACTIVITY	STATUS	LOCATION	Organizer
Nov 18 (Sat)		<i>Tree Install</i>		<i>McMurrans Lawn</i>	<i>Rotary</i>
Nov 18 (Sat)	9:00 AM	<i>Tree Decorating</i>		<i>McMurrans Lawn</i>	<i>Rotary</i>
Nov 18 (Sat)	~ 10 am	<i>Market House &amp; Town Hall Decorating</i>		<i>downtown</i>	<i>CIS &amp; Garden Club</i>
Nov 18 (Sat)	11:00 - 5:00	Handmade Christmas Market	confirm	Community Club	Wild Rose Soap
--	--	<i>Tree Sweaters &amp; Meter Mitts</i>		<i>downtown</i>	<i>TBD</i>
--	--	<i>Downtown Window Decorating</i>		<i>downtown</i>	<i>merchants &amp; volunteer groups</i>
<b>Weekend 1 &gt;&gt;</b>					
<i>Nov 23 (Thu)</i>		<i>Thanksgiving</i>			
Nov 24 (Fri)	4:00 - 7:00	Kiwanis Chili Fest		Community Club	Kiwanis
Nov 24 (Fri)	[ 4 - 9 ]	- Welcome to Christmas -	YES	King St & McMurrans	CIS
Nov 24 (Fri)	4:30 - 8:00	SVFD Bonfire	YES	King Street	SVFD
Nov 24 (Fri)	5:30 - 6:00	Welcome to Christmas	YES	McMurrans Lawn	CIS
Nov 24 (Fri)	6:00 - 6:15	Mrs Claus	YES	McMurrans Lawn	CIS
Nov 24 (Fri)	6:15	Tree Lighting	YES	McMurrans Lawn	CIS
Nov 24 (Fri)	6:15 - 9:00	Santa visits	YES	McMurrans Lawn	CIS
Nov 25 (Sat)	all day	Small Business Saturday	YES	--	--
Nov 25 (Sat)	noon - 3:00	Who-liday Celebration	YES	Community Club	SCC
Nov 25 (Sat)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
Nov 25 (Sat)	5/6/7 pm	Living Nativity	confirm	Trinity Church	Trinity Church
Nov 26 (Sun)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
Nov 26 (Sun)	2 - 3 pm	Prince Snowflake	confirm	Community Club	SCC
Nov 26 (Sun)	3:30 - 4: 30	Hip Hoopz - Holiday Edition	confirm	Community Club	SCC
<b>Weekend 2 &gt;&gt;</b>					
<i>Dec 1 (Fri)</i>	<i>Dec 9 (Fri)</i>	<i>[ Shepherd U - Last Day of Classes ]</i>	<i>FYI</i>		
Dec 2 (Sat)	10:00 - 11:00	Christmas Parade		German St	Rotary
Dec 2 (Sat)	noon - 5	GTM Center event	confirm	GTM Civil War Center	GTM Civil War Center
Dec 2 (Sat)	noon	Mrs. Santa at the Entler	confirm	Entler Museum	HSC
Dec 2 (Sat)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
<i>Dec 2 (Sat)</i>	<i>2 - 4 pm</i>	<i>[Charles Town Parade]</i>	<i>--</i>	<i>Charles Town</i>	
Dec 2 (Sat)	6:30 PM	Contra Dance Holiday Party	confirm	Community Club	SMAD
Dec 2 (Sat)	7:30 PM	Holiday Gala Concert	YES	Frank Center	SU Music
Dec 2 (Sat)	10:00 - 4:00	Cookie Walk	confirm	Trinity Church	Trinity Church
Dec 2 (Sat)	N/1/5/6/7 pm	Living Nativity	confirm	Trinity Church	Trinity Church
Dec 3 (Sun)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
Dec 3 (Sun)	3:00 PM	Holiday Gala Concert	YES	Frank Center	SU Music
Dec 3 (Sun)	4 - 5 pm	Caroling	confirm	McMurrans Lawn	Terry Tucker
<b>Weekend 3 &gt;&gt;</b>					
Dec 4 (Mon)		--			
Dec 5 (Tue)	7:30 PM	Youth Chorus & Recorder Concert	YES	Frank Center	SU Music



- 2023 -	TIMES	EVENT / ACTIVITY	STATUS	LOCATION	Organizer
Dec 6 (Wed)	7:30 PM	Shepherd Community Orchestra & Sinfonia	YES	Frank Center	SU Music
Dec 7 (Thu)		--			
<i>Dec 8 (Fri)</i>		<i>[ Shepherd U - Last Day of Final Exams ]</i>	<i>FYI</i>		
Dec 9 (Sat)	8-11:00am	Breakfast with Santa	confirm	Blue Moon	Lions Club
Dec 9 (Sat)	noon - 3	Christmas Tea	YES	Community Club	SCC
Dec 9 (Sat)	1:00 PM	Tuba Christmas	confirm	McMurrans Lawn	
Dec 9 (Sat)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
<i>Dec 9 (Sat)</i>	<i>2 - 4 pm</i>	<i>[Harpers Ferry Parade]</i>	--	<i>B-HF</i>	
Dec 10 (Sun)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
<b>Weekend 4&gt;&gt;</b>					
Dec 11 (Mon)					
Dec 12 (Tue)	TBD	Holiday Gift Wrapping	confirm	Evolve	Lions Club
Dec 13 (Wed)					
Dec 14 (Thu)		--			
Dec 15 (Fri)		--			
Dec 16 (Sat)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
Dec 17 (Sun)	1 - 3 pm	History Museum open	confirm	Entler Hotel	HSC
<b>Weekend 5&gt;&gt;</b>					
Dec 18 (Mon)	TBD	Holiday Gift Wrapping	confirm	Evolve	JC Dems
Dec 19 (Tue)		--			
Dec 20 (Wed)		--			
Dec 21 (Thu)		--			
Dec 22 (Fri)		--			
Dec 23 (Sat)		--			
Dec 24 (Sun)	6:00 PM	Ring of the Bells	confirm	Shepherdstown	SCC
<b>Weekend 6&gt;&gt;</b>					
Dec 25 (Mon)		CHRISTMAS DAY			
Dec 26 (Tue)	4-7 pm	Historic Houses of Worship Tour	confirm	Shepherdstown	HSC
Dec 27 (Wed)					
Dec 28 (Thu)					
Dec 29 (Fri)					
Dec 30 (Sat)					
Dec 31 (Sun)		--			
<i>Jan 1 (Mon)</i>		<i>New Years Day</i>			

## **A Resolution Supporting the Expansion of the YMCA into Jefferson County**

**WHEREAS**, the average wait time between seeking child care and receiving a placement in Jefferson County is 13.3 months; and

**WHEREAS**, the average wait time for child care far exceeds the neighboring counties-- Berkely County, WV, at 6 months, and Frederick, MD, at 3 months; and

**WHEREAS**, the YMCA is the nation's largest provider of child care programs; and

**WHEREAS**, Jefferson County is serviced by only one, year-round public pool (Shepherd University); and

**WHEREAS**, the YMCA is the largest pool management agency in the world; and

**WHEREAS**, West Virginia University Medicine identified three, main health priorities as part of their December 2022 Community Needs Assessment for Berkely Medical Center and Jefferson Medical Center: substance use and abuse (drugs, alcohol, tobacco, vaping), obesity and chronic disease (including cancer), and mental health; and

**WHEREAS**, the YMCA programs mitigate negative health outcomes by providing health and wellness training and classes for all ages from pre-natal to senior; and

**WHEREAS**, the top need identified by most Jefferson County leaders is activities for kids and families, early-career single adults, and the elderly; and

**WHEREAS**, the YMCA has a variety of opportunities for families and kids including swimming lessons, free lifeguard training, cooking classes, teens night out, chess club, art classes, STEM (science, technology, engineering, and math) programs, dance classes, sports leagues, and homeschool programming; and

**WHEREAS**, the YMCA has a variety of opportunities for early-career single adults such as: adult culinary classes, adult acting classes, introduction to watercolor painting, adult sports teams, fitness classes, and more; and

**WHEREAS**, the YMCA has a variety of opportunities for seniors including all of the adult programs and: massage (including oncology massage), senior social breakfast, lunch and learns such as "Managing Hip Pain" and "Breast Cancer Awareness," senior yoga, warm water exercise classes, etc.

**NOW, THEREFORE BE IT RESOLVED**, the Corporation of Shepherdstown, do hereby support the YMCA expansion into Jefferson County to address the significant childcare needs, lack of access to aquatic facilities, and address the need for healthy community activities.

---

MAYOR

---

RECORDER

---

DATE



## **SHEPHERDSTOWN FIRE DEPARTMENT, INC.**

8052 Martinsburg Pike • PO Box F • Shepherdstown, WV 25443  
(304) 876-2311 • [ShepherdstownFireDepartment.com](http://ShepherdstownFireDepartment.com)

---

August 29, 2023

Marshall DeMeritt, EMS Chief  
Shepherdstown Fire Department  
PO Box F, Shepherdstown, WV 25443  
[mddemeritt@gmail.com](mailto:mddemeritt@gmail.com)  
540-742-8190 (c)

Corporation of Shepherdstown  
Mayor Jim Auxer

RE: Funding Request for Needed Small Tools and Equipment

Mr. Mayor,

The Corporation of Shepherdstown has been an integral part of the ability of the SFD to provide services properly and professionally to our community. We remain grateful for the continued support provided to us by the Corporation, and its residents. I am writing to request funding on behalf of the Shepherdstown Fire Department. We are in need of small tools and equipment to help us better serve our community. As you can imagine, the small tools we utilize are used under the most strenuous circumstances, and we find ourselves in need of a major replacement and upgrade. We are requesting funding in the amount of \$9,688.00 to purchase the necessary equipment (list attached). This will include hand tools used across our operations, lighting for the safety of our crews, and batteries to replace our aging infrastructure, among other items of need. These tools and equipment will help us operate more effectively in emergencies and ensure the safety of our firefighters and residents.

Our department has been serving the Shepherdstown area for over 225 years, and without the continued support of our residents, we will not be able to provide the highest quality emergency services. We believe that this investment in our department will have a significant impact on our ability to serve the community. We would be happy to provide additional information or answer any questions you may have about our request.

Thank you for your consideration.

**Marshall D. DeMeritt, MS**

PMP®; SAFe Agilist®; CSM®; ICP-Agile®; ITIL®, NREMT®  
EMS Chief  
Shepherdstown Fire Department, Inc.



Search ... 



Each	Quantity	Total
\$149.00	1	<del>\$149.00</del>
		\$0.00
Free XC5.0 Battery Promotion		

Milwaukee M18 ROCKET Dual Power Tower Light Bare Tool

BRAND: Milwaukee

MODEL:2131-20



In Stock for online orders  
Delivery to - 25443 - Est. Arrival Mon Sep 4 - Tue Sep 5  
[change location](#)

Each	Quantity	Total
\$229.00	<input type="text" value="6"/>	\$1,374.00
		<a href="#">Remove</a>

Milwaukee M18 ROVER Dual Power Flood Light Bare Tool

BRAND: Milwaukee

MODEL:2366-20



In Stock for online orders  
Delivery to - 25443 - Est. Arrival Mon Sep 4 - Tue Sep 5  
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Each	Quantity	Total
\$149.00	<input type="text" value="12"/>	\$1,788.00
		<a href="#">Remove</a>

Milwaukee M18 REDLITHIUM HIGH OUTPUT XC 6.0Ah Battery Pack (2pk)

BRAND: Milwaukee

MODEL:48-11-1862



In Stock for online orders  
Delivery to - 25443 - Est. Arrival Mon Sep 4 - Tue Sep 5  
[change location](#)

Each	Quantity	Total
\$279.00	<input type="text" value="4"/>	\$1,116.00
		<a href="#">Remove</a>

Milwaukee M18 FUEL 16 in. Chainsaw Kit

BRAND: Milwaukee

MODEL:2727-21HD



In Stock for online orders  
Delivery to - 25443 - Est. Arrival Mon Sep 4 - Tue Sep 5  
[change location](#)

Each	Quantity	Total
\$449.00	<input type="text" value="2"/>	\$898.00
		<a href="#">Remove</a>

Bonus Product

Milwaukee Promotional 16" Chain for 2727-20 Chainsaw

BRAND: Milwaukee  
MODEL:49-16-2715F



✓ In Stock for online orders  
📍 Delivery to - 25443 - Est. Arrival [Mon Sep 4 - Tue Sep 5](#)  
[change location](#)

Each	Quantity	Total
\$19.97	2	<del>\$39.94</del> \$0.00

📦 Free Chain Promotion

Milwaukee M18 PACKOUT Six Bay Rapid Charger

BRAND: Milwaukee  
MODEL:48-59-1809



✓ In Stock for online orders  
📍 Delivery to - 25443 - Est. Arrival [Mon Sep 4 - Tue Sep 5](#)  
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Each	Quantity	Total
\$249.00	<input type="text" value="3"/>	\$747.00
	<a href="#">Remove</a>	

Recommended Products



Milwaukee M18 ROCKET Tower Light/Charger...

SKU# 2136-20  
✓ In Stock  
🚚 Free Shipping  
\$449.00 List: \$662.00



Milwaukee M18 FUEL Deep Cut Band Saw

SKU# 2729-20  
✓ In Stock  
🚚 Free Shipping  
\$379.00 List: \$546.00  
📦 [FREE Bare Tool or Battery of Choice](#)



Milwaukee M18 Cordless Lithium-Ion 6-Tool...

SKU# 2696-26  
✓ In Stock  
🚚 Free Shipping  
\$749.00 List: \$1,184.00  
📦 [TWO FREE Bare Tools or Batteries](#)



Milwaukee M18 & M12 Rapid Charge Station

SKU# 48-59-1807  
✓ In Stock  
🚚 Free Shipping  
\$229.00 List: \$287.00  
📦 [Tack On and Save](#)



Milwaukee M18 REDLITHIUM XC 5.0Ah.

SKU# 48-11-1852  
✓ In Stock  
🚚 Free Shipping  
\$249.00 List: \$299.00  
📦 [Tack On and Save](#)

ACME PROMOTIONS

Specials, Close-Outs, New Product Updates

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D. FRANK HILL, III  
ATTORNEY AT LAW  
POST OFFICE BOX A  
SHEPHERDSTOWN, WEST VIRGINIA 25443

D. FRANK HILL, III (WV & MD BAR)

136 E. GERMAN STREET  
THE PHARMACY BUILDING  
(304) 876-9333

August 11, 2023

Shepherdstown Planning Commission  
P.O. Box 248  
Shepherdstown, WV 25443

HAND DELIVERY - TOWN HALL

Attn: J. Andrew Beall

Re: Applicant: Charles R. Morris, II  
Merger - 218 S. Duke Street

Dear Mr. Beall:

I have been retained by Charles R. Morris, II who owns two parcels of real estate at the address shown above, and on his behalf have attached an Application for Project Permit seeking approval for a merger of the two parcels into a single parcel.

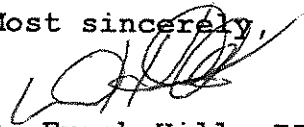
I would respectfully direct your attention to the Attachment, and the two Exhibits, to the Application for the salient details of this request.

I have also provided a check payable to the Town in the amount of \$100.0 in payment of the applicable fee.

I would welcome the opportunity to answer any questions you might have and look forward to the Commission's meeting on August 21.

The Commission's favorable consideration of this request would be genuinely appreciated.

Most sincerely,

  
D. Frank Hill, III

Enclosures as stated (Ck. 5506)  
cc: Charles R. Morris, II (w/copy of Application)





Application Number 23-18

## Application for Project Permit

### Corporation of Shepherdstown, West Virginia

Should you have any questions regarding this application, please contact:  
Andy Beall (Phone 304-876-6858, E-Mail [abeall@shepherdstown.us](mailto:abeall@shepherdstown.us))

PLEASE PRINT OR TYPE CLEARLY

Applicant's Name: Charles R. Morris, II  
(Must be Property Owner) C/o D. Frank Hill, III, Attorney

Mailing Address: P.O. Box A / 136 E. German Street  
Shepherdstown WV 25443

Day Time Telephone Number: 876-9333

E-Mail Address: dfhatty@frontiernet.net

Street Address of Proposed Work: 218 S. Duke Street

Lot Number/Legal Description: Northeast portion of Lot 152 (Tax Map 2, p. 119.1)  
(If no address exists) Southeast portion of Lot 108 (Tax Map 2, p. 104)  
See Deed Book 1084, page 443

Current Zoning: R-1 Current Land Use: primary residence  
Note: See zoning maps at Town Hall for correct zoning classification

Description of Work: Merge two parcels as described above so as to create  
a single parcel of 8323 square feet (0.191 acre).

See Attachment (and Exhibits) for additional information.

Cost Estimate unknown Project Category (Descriptions on Next Page): merger

~~Contractor~~ performing work: Edward L. Johnson, Jr., surveyor

Contractor's Business License #: \_\_\_\_\_

A copy of the contractor's Shepherdstown business license or license application **MUST** be attached. The applicant is responsible for making sure all contractors working on this project have a Shepherdstown business license (which can be applied for at town hall). Work started without a business license could result in a stop order on the project.



Application Number \_\_\_\_\_ - \_\_\_\_\_

**Application for Project Permit**  
**(Checklist of Required Information for Applications)**

Provide information required for appropriate category of work. Staff will ensure completion of checklist material prior to applications' inclusion on meeting agenda.

**Category I-** Minor Projects such as awnings, porch railings, window boxes, satellite dishes, propane tanks, solar panels, signs or other minor changes.

\_\_\_\_\_ PHOTOGRAPHS OR DRAWN ELEVATION VIEWS OF THE PROPOSED WORK SITES (clearly labeled), at reasonable scales, of the parts of the structure to be altered (again, clearly labeled in terms of which side of the structure, etc.) are needed.

\_\_\_\_\_ MATERIAL AND COLOR SAMPLES for exterior finishes

**Category II-** Accessory Buildings, sidewalks, driveways, decks, garages, storage buildings, or carports.

**Category III-** Major changes including roof, window or siding changes but excluding additions.

**Category IV-** New Construction Commercial/Industrial, Residential and/or additions.

**(Categories II thru IV):**

\_\_\_\_\_ SITE PLAN is required at common engineering (1" = 10' or 1" = 20', etc.) or architectural scales (1/4" = 1' or 1/8" = 1'). Specifically, these drawing shall include: North point, scale, date, property boundaries (lot lines), existing trees and/or significant planting (if work will disturb surroundings), street & parking lighting. (SAMPLE ATTACHED)

\_\_\_\_\_ Gross & net land area of property

\_\_\_\_\_ Setback from property boundaries

\_\_\_\_\_ Existing & proposed topography (only if regrading of the property is required)

\_\_\_\_\_ Existing & proposed accessory structures

\_\_\_\_\_ Existing & proposed street right-of-way & entrance

\_\_\_\_\_ Sidewalk, handicap access, Category IV only

\_\_\_\_\_ MATERIAL AND COLOR SAMPLES for exterior finishes

\_\_\_\_\_ ELEVATIONS, drawings indicating height of proposed structures, materials, and window and door arrangements

\_\_\_\_\_ ZONING INFORMATION shall be defined in the application as required:

\_\_\_\_\_ Dwelling density- net (residential application only)

\_\_\_\_\_ Flood plain designation if any (mapping available in Town Hall)

\_\_\_\_\_ Cost estimates and property appraisals for applications seeking exemptions from Chapter 12- Floodplain provisions

**Category V- Demolitions:**

\_\_\_\_\_ Historic designation of structures to be demolished (documents available in Town Hall)

\_\_\_\_\_ Complete description of structure(s) or part(s) of structure(s) to be demolished.

\_\_\_\_\_ At least one (1) structural report by a certified structural engineer. Applies to demolition requests for structures fifty (50) years or older.



Application Number \_\_\_\_\_ - \_\_\_\_\_

**Checklist of Required Information for Applications Continued**

**All Categories:**

\_\_\_\_\_ Copy of general contractor's Shepherdstown business license or license application.

**Section 9-905 Remedies and penalties**

The owner or agent of a building or premises in or upon which a violation of any provision of the Planning and Zoning Title has been committed or shall exist, or the leasee or tenant of an entire building or entire premise in or upon which violation has been committed or shall exist, or the agent, architect, building contractor or any other person who commits, takes part or assists in any violation or who maintains any building or premises in or upon which such violation shall exist, shall be guilty of a misdemeanor and shall be punished by a fine not to exceed one hundred (100) dollars. Each and every day that such violation continues may constitute a separate offense.

**Please read the following paragraph carefully and sign.**

Attach documents specified in the checklist on the back of this application. I hereby certify that all information herein provided is true and accurate. I hereby authorize the inspection of the above premises by authorized agents of the Shepherdstown Planning Commission at any reasonable time in order to determine compliance with the Commission's approval. Application must be signed by owner or his/her agent.

Date: August 11, 2013

Charles R. Morris, II  
Owner's Signature: By: [Signature]  
D. Frank Hill, III  
Attorney  
Print Name: West Virginia Bar No. 1725

Zoning Officer Comments:

Fee Paid \_\_\_\_\_

Date Paid \_\_\_\_\_

## ATTACHMENT TO MORRIS APPLICATION

Attached is the Tax Map depicting the subject real estate - Parcel 104 and Parcel 119.1, labeled Exhibit 1.

Also attached is a plat prepared by Edward L. Johnson, Jr., P.S., dated August 29, 2018, which depicts the subject real estate, labeled Exhibit 2.

This plat was prepared in connection with the Applicant's prior request to purchase from the Town that portion of Union Alley (12 feet wide) which bisects the entirety of the subject property. Some time ago the Town declined this request, as a result of which the Applicant requests that the Planning Commission, under the authority of Code § 9-904A, permit the merger of these parcels into a single parcel.

Should this merger be granted, the following will be accomplished:

1. The area of the Applicant's single parcel will be sufficiently enlarged so as to permit the construction of a conventional vehicular garage (for which a separate Application will be filed with the Commission).

2. The Applicant will receive a single tax bill under the "owner-occupied" classification.

3. No harm or detriment would result to the Town or any adjoining neighbor.

In addition, the use, function, and purpose of Union Alley will not, in any way, be altered.

Should this Application be approved, the aforementioned plat will be revised so as to reflect, in all particulars, a merger of the subject parcels, with the further understanding that the Deed incident to creating a single parcel will contain appropriate language regarding the merger as well as appropriate language regarding the unaltered continuation of Union Alley.

In addition, as is my practice, the Deed (and the revised plat) will be submitted to the Town for review and approval prior to its recording.

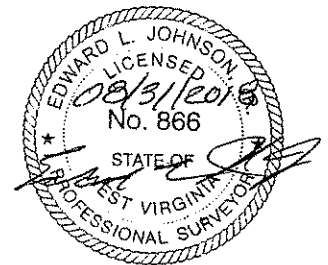
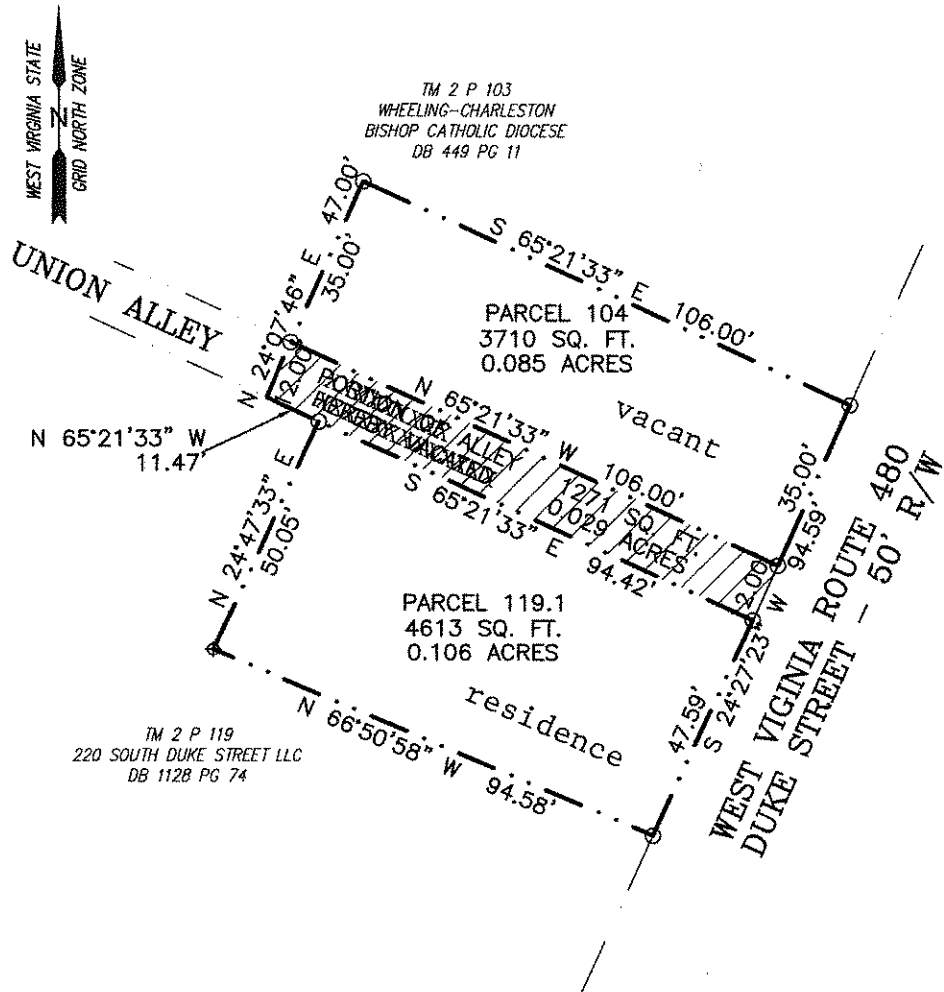
[illegible]

Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

Me  
C...



LEGEND:  
⊕ FOUND DRILL HOLE  
○ FOUND REBAR & CAP



PLAT SHOWING ~~XXXXXX~~ ~~ALLEY~~  
~~BETWEEN THE~~ PARCELS OWNED BY  
CHARLES MORRIS II  
DEED BOOK 1184 PAGE 443  
TAX MAP 2 PARCELS 104 & 119.1  
SHEPHERDSTOWN CORPORATION  
JEFFERSON COUNTY, WEST VIRGINIA  
SCALE: 1" = 30' AUGUST 29, 2018

ED JOHNSON AND ASSOCIATES, INC.  
LAND SURVEYORS  
674 ACORN CIRCLE  
HARPERS FERRY, WEST VIRGINIA 25425  
(304)725-6060

EXHIBIT



D. FRANK HILL III  
ATTORNEY AT LAW  
136 E GERMAN STREET  
P.O. BOX A  
SHEPHERDSTOWN, WEST VIRGINIA 25443  
PH. (304) 876-9333

PAY  
AMOUNT  
OF

*One Hundred*

DATE

*8/1/83*

TO THE ORDER OF

*Corporation of Shepherdstown*

DOLLARS

CHECK  
AMOUNT

CHECK  
NUMBER

*Means APPROVED*

\$ 100.<sup>00</sup>—

Security Features  
Check for Bank



*[Signature]*

⑆00005506⑆ ⑆056004445⑆ 0003000023⑈

REMITTANCE ADVISE


5506



68-444/560



CRB 119-2

**Corporation of Shepherdstown**

104 North King Street  
Shepherdstown, WV 25443  
304-876-2312

**CASH  
RECEIPT**

Date 8/14/2023

002466

Received From

D. Frank Hill III

Address

136 E. German Street

Shepherdstown, WV 25443

Dollars \$ 100.00

For

Lot Merger (218 S. Duane Street)

ACCOUNT			HOW PAID		
AMT. OF ACCOUNT			CASH		
AMT. PAID			CHECK	<u>100.00</u>	
BALANCE DUE			MONEY ORDER <input type="checkbox"/>		
			CREDIT CARD <input type="checkbox"/>		

Check # 55026

By Rachael Duich



August 29, 2023

**CORPORATION OF SHEPHERDSTOWN**

104 North King Street  
P.O Box 248  
Shepherdstown, West Virginia 25443  
Main: 304.870.4331  
[sgrove@shepherdstown.onmicrosoft.com](mailto:sgrove@shepherdstown.onmicrosoft.com)

ATTENTION: Ms. Stephanie Grove  
Town Administrator

REFERENCE: Asbestos, Lead and Mold Abatement Services - Technical Discussion and Cost Proposal  
Old Market House – Shepherdstown Public Library  
100 E German Street, Shepherdstown, West Virginia 25443

**BOGGS ENVIRONMENTAL CONSULTANTS, INC.** (BEC) is pleased to present our cost proposal to provide remediation services and environmental testing at the Old Market House – Shepherdstown Public Library. The scope of work includes the following:

**SCOPE OF WORK**

1. Remove and Dispose of (~1,000 SF) of asbestos containing floor tile and mastic from the main area and back entry
2. Stabilize Paint Containing Lead from Ceilings (~1,000 SF) in the Main Area. scope does not remove all lead paint it is intended only to stabilize paint films in poor condition and provide proper disposal.
3. Surface clean and encapsulate mold located in main area, back entry, stairwell, 2<sup>nd</sup> floor Storage Area. Additionally, the 2<sup>nd</sup> floor storage area ceiling will be removed.
4. Project will require approximately three (3) days to complete. After completion of this project a final report will be issued providing waste manifests and environmental testing results.

**Qualifications:**

- Project will require a minimum ten (10) working day notification to West Virginia Department of the Environment before asbestos abatement work may begin as it exceeds NESHAP quantity thresholds of >160 SF of asbestos-containing material requiring removal.
- Proposal is based upon client and/or owner providing power, water, and restrooms for the duration of the work.
- Proposal includes commercial general asbestos liability insurance.
- Proposal includes all licenses, permits and fees to perform this work.
- Proposal excludes reinstallation, painting and/ or new work of any kind.
- Proposal excludes, any utility disconnects, cutting/ capping to perform the work.
- Proposal excludes any changes to unforeseen conditions, changes to scope of work, or assumptions to scope of work, or inferred demolition.
- Proposal excludes wage scale and/or P&P bonds
- Proposal excludes pedestrian, landscaping and/or weather protections of any kind.
- Proposal excludes preparing floor surfaces for new floor installation.
- Proposal excludes removal of personal belongings or items from the proposed work areas to an adjacent unaffected area for temporary storage until the work has been completed.

**CORPORATION OF SHEPHERDSTOWN**

Old Market House – Shepherdstown Public Library

Environmental Remediation Cost Proposal

August 29, 2023

Page Two

## Limitations:

- Neither BEC nor the Client shall be liable to the other for any consequential losses or damages, whether arising in contract, warranty, tort (including negligence), and strict liability or otherwise, including but not limited to losses of use, profits, business, reputation or financing.
- Price does not include any changes due to unforeseen conditions, changes to scope of work, or assumptions to scope of work.
- Proposal is based on approval of mutually acceptable contract terms and conditions.
- Proposal based on this document being made part of the contract documents.
- Proposal based on retention (if any) being released 30 days after completion of work.
- The scope of removal for mold is limited to the areas identified in the scop of work. The owner acknowledges that mold, fungi and other microbial contaminants are naturally occurring in most environments making a 100% mold free environmental an unrealistic expectation. Climatic changes, building uses and mechanical systems beyond our control may cause mold manifestation regardless of remediation efforts to remove or control existing mold. BEC nor any of its subcontractors will be responsible for any regrowth of mold in the project areas. Correction of the moisture or climatic circumstances which led to or aided in the mold growth is paramount to the success of any mold abatement projects and is the responsibility of the owner.
- Proposal is valid for 60 days.

## COST ESTIMATE

State of West Virginia Licensed Asbestos Abatement Contractor, Removal & Disposal	\$ 13,000.00
Asbestos Permit Fee	\$ 500.00
Lead Paint Waste Disposal	\$ 1,500.00
Industrial Hygiene Sampling and Final Technical Report	<u>\$ 3,000.00</u>

TOTAL PROJECT COST \$ 18,000.00

**CORPORATION OF SHEPHERDSTOWN**

Old Market House – Shepherdstown Public Library

Environmental Remediation Cost Proposal

August 29, 2023

Page Three

**STANDARD TERMS & CONDITIONS**

1. BEC shall invoice the client for professional services rendered upon completion associated with all fieldwork and environmental testing services completed. This invoice is due for payment within 30 days of receipt.
2. BEC requests your signature (including date of proposal acceptance) at the acceptance section provided below as Notice to Proceed with scheduling manpower, supplies, equipment, and materials necessarily-required to conduct the work and initiates the three-week timeframe for the agreed upon delivery of the final technical reports.
3. BEC advises this proposal is valid for 60 days.

**BEC PROFESSIONAL SERVICES AGREEMENT**

BEC request certification of acceptance of our Technical & Cost Proposal including the Terms & Conditions by completing in full the signatory section provided below. BEC shall not incur additional fees or charges without prior written authorization. The executed Agreement of Services and your signature below shall serve as an immediate notice to proceed with performance of the scope of work, as more fully described in the foregoing Technical Discussion of this proposal.

Printed Name

Title

Signature

Date

Should you have any questions, contact our office at your earliest convenience.

Sincerely,

**BOGGS ENVIRONMENTAL CONSULTANTS, INC.**



Richard Robinson

President

# MARKET HOUSE

## CONSULTANTS:

STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL:

NAME  
ADDRESS  
ADDRESS

SITE/CIVIL:

NAME  
ADDRESS  
ADDRESS



SHEET LIST	
Sheet Number	Sheet Name
CS	COVER SHEET
G001	ABBREVIATIONS/SYMBOLS
G002	COMMERCIAL NOTES
G010	LIFE SAFETY
G020	ADA STANDARDS
G021	ADA STANDARDS
G040	PARTITION TYPES AND DETAILS
D100	LEVEL 1 - DEMOLITION
D101	LEVEL 2 - DEMOLITION
A100	LEVEL 1 PLAN
A102	LEVEL 2 PLAN
A110	REFLECTED CEILING PLAN - LEVEL 1
A200	ELEVATIONS
A300	SECTIONS
A400	ENLARGED PLANS & ELEVATIONS
A600	DOOR AND FINISH SCHEDULE
SD100	STRUCTURAL DEMOLITION
S100	STRUCTURAL NEW WORK
M001	MECHANICAL NEW WORK
P002	PLUMBING NEW WORK
E100	ELECTRICAL NEW WORK

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
COVER SHEET



SITE

LOCATION PLAN



SITE

VICINITY MAP

NOTE: SEE LS SHEETS FOR CODE DATA AND LIFE SAFETY INFORMATION

Revision Schedule		
No.	Revision Description	Date



SYMBOLS/LEGEND

	SECTION VIEW NUMBER SHEET NUMBER
	SEE ENLARGED DETAIL VIEW VIEW NUMBER SHEET NUMBER
	BUILDING ELEVATION VIEW NUMBER SHEET NUMBER
	INTERIOR ELEVATION VIEW NUMBER SHEET NUMBER
	DATUM ELEVATION
	SPOT ELEVATION
	ROOM NAME ROOM NUMBER
	WALL TYPES
	WINDOW NUMBER
	DOOR NUMBER
	KEYED NOTES
	MATERIAL / FINISH ID
	ASSEMBLY / EQUIPMENT TAG
	REVISION NUMBER
	EXISTING DOOR
	EXISTING OPENING, NEW DOOR ASSEMBLIES
	NEW DOOR
	NEW PARTITION
	EXISTING CONSTRUCTION TO REMAIN
	CONSTRUCTION TO BE REMOVED

MATERIALS

	EARTH		GRAVEL
	CMU BLOCK		BRICK
	RIGID INSULATION		BATT INSULATION
	DENSGLOSS / DENSDECK		PLASTER / MORTAR / GYPSUM BOARD
	PLYWOOD / OSB		CONCRETE
	GLASS		WOOD FRAMING / BLOCKING
	STEEL / METAL		MORTAR NET / COMPRESSIBLE FOAM

ABBREVIATIONS

<b>A</b> AFF AFS AC DR AC ACB ACT AC PNL AC WP ADD ADH ADJT A/C AHU ALT. ALUM. A.B. ANCH ANOD & APPROX ARCH ASP ASF @ AVG	ABOVE FINISHED FLOOR ABOVE FLOOR SLAB ACCESS DOOR ACOUSTIC(AL) ACOUSTICAL BAFFLE ACOUSTICAL TILE ACOUSTICAL PANEL ACOUSTICAL WALL PANEL ADDENDUM ADHESIVE ADJUSTABLE (MENT) AIR CONDITIONING AIR HANDLING UNIT ALTERNATE ALUMINUM ANCHOR BOLT ANCHOR ANODIZE AND APPROXIMATE (LY) ARCHITECT(URAL) ASPHALT ABOVE SUBFLOOR AT AVERAGE	<b>E</b> EA E ELEC F ELEV EMER ENCL EQ EXH EXIST EJ EXP EXT	EACH EAST ELECTRIC (AL) ELEVATION ELEVATOR EMERGENCY ENCLOSE (URE) EQUAL EXHAUST EXISTING EXPANSION JOINT EXPOSED EXTERIOR	<b>L</b> LBL LAB LAM LAV LH LT LT WT LF LL LP LVR L LUM	LABEL LABORATORY LAMINATE (D) LAVORATORY LEFT HAND LIGHT LIGHT WEIGHT LINEAR FOOT LIVE LOAD LOW POINT, LOW PRESSURE LOUVER LOCKER LUMINOUS	<b>R con't</b> RH RHR ROW R RF RFG RD RM RO RND RBR RT	RIGHT HAND RIGHT HAND REVERSE RIGHT OF WAY RISER ROOF ROOFING ROOF DRAIN ROOM ROUGH OPENING ROUND RUBBER RUBBER TILE
<b>B</b> BSMT. BM BRG B.P.L. BEL B.M. BET BFFM BIT BLK BD BW BOT BC BRKT BRK BLDG BLKHD BUR	BASEMENT BEAM BEARING BEARING PLATE BELOW BENCH MARK BETWEEN BEVELED FRAME FLOOR MAT BITUMINOUS BLOCK(ING) BOARD BOTH WAYS BOTTOM BOTTOM CURB BRACKET BRICK BUILDING BULKHEAD BUILT UP ROOFING	<b>F</b> FWC FOS F FCU FAS FGL FIN FFE FA FE FEC FER FHC FR FP FLG FL FD FLUOR FP PTN FT FTG FND FS FURR FUT	FABRIC WALL COVERING FACE OF STUDS FAHRENHEIT FAN COIL UNIT FASTEN (ER) FIBERGLASS FINISH (ED) FINISH FLOOR ELEVATION FIRE ALARM FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER RECESS FIRE HOSE CABINET FIRE RATED FIREPROOF(ING) FLASHING FLOOR (ING) FLOOR DRAIN FLOURESCENT FOLDING PANEL PARTITION FOOT (FEET) FOOTING FOUNDATION FULL SIZE FURRING FUTURE	<b>M</b> MACH MH MFR MAR. MB MAS MO MR MATL MAX MECH MEMB MTL MTP MEZZ MWK MIN MR MISC MOD MB MTD MOV MULL	MACHINE MANHOLE MANUFACTURE MARBLE MARKER BOARD MASONRY MASONRY OPENING MOISTURE RESISTANT MATERIAL(S) MAXIMUM MECHANIC(AL). MEBRANE METAL METAL TOILET PARTITION MEZZANINE MILLWORK MINIMUM(S) MIRROR MISCELLANEOUS MODULAR MOISTURE BARRIER MOUNT (ED), (ING) MOVABLE MULLION	<b>S</b> SND SNR SCHED STG SECT SHTH. SH SM SHLVG SHR SIM SL SC S SAB SP SPEC SF CMU SQ SS STD STOR SD STRUCT SFT SUBFL SURF SUSP SYM SYS	SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTALCE SCHEDULE SEATING SECTION SHEATHING SHEET SHEET METAL SHELVING SHOWER SIMILAR SLATE SOLID CORE SOUTH SOUND ATTENUATION BLANKET SPANDREL SPECIFICATION SPLIT FACE CMU SQUARE STAINLESS STEEL STANDARD(S) STEEL STORAGE STORM DRAIN STRUCTURAL STRUCTURAL GLAZED TILE SUBFLOOR SURFACE SUSPEND(ED) SYMMETRY of SYMBOL SYSTEM
<b>C</b> CAB CPT CSMT CI CLKG CLG. CEM. CL CER CT CMT CBD C CR CO CLR CL COL COMB COMP CO CONC CMU CONST CONT CLL CJ COP CG CORR CTR CSK CFT CYD CUST	CABINET CARPET CASEMENT CAST IRON CAULKING CEILING CEMENT CENTER LINE CERAMIC CERAMIC TILE CERAMIC MOSAIC TILE CHALKBOARD CHANNEL CLASSROOM CLEAN OUT CLEAR (ANCE), COLOR CLOSET COLUMN COMBINATION COMPACT(ED) COMPANY CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS CONTRACT LIMIT LINE CONTROL JOINT COPPER CORNER GAURD CORRIDOR COUNTER COUNTERSUNK CUBIC FOOT CUBIC YARD CUSTODIAN	<b>G</b> GALV GI GA GEN GC GL GB GR GYP GWB	GALVANIZED GALVANIZED IRON GAGE, GAUGE GENERAL GENERAL CONTRACT (OR) GLASS, GLAZING GRAB BAR GRADE GYPSUM GYPSUM WALLBOARD	<b>N</b> NF N NTD NIC NTS NO NOM	NATURAL FINISH NORTH NOTED NOT IN CONTRACT NOT OT SCALE NUMBER NOMINAL	<b>I</b> TEL TV TEMP TC TER THK THRESH TP T&G TF TSL TS TW TWB T TYP	TELEPHONE TELEVISION TEMPERED TERRA COTTA OR TOP CURB TERRAZZO THICK (NESS) THRESHOLD TOILET PAPER DISPENSER TONGUE & GROOVE TOP OF FOOTING TOP OF SLAB TOP OF STEEL TOP OF WALL TOWEL BAR TREAD TYPICAL
<b>D</b> DP DEPT DL DIAG DIAM DIM DISP DIV DR DBL DH DN DS DWR DWG DF	DAMPROOFING DEPARTMENT DETAIL DIAGONAL(LY) DIAMETER DIMENSION DISPENSER DIVISION DOOR DOUBLE DOUBLE HUNG DOWN DOWNSPOUT DRAWER DRAWING DRINKING FOUNTAIN	<b>H</b> HC HNDRL HDW HWD HT HTG HDR HVAC HD HP HC HM HOR H.B. HWH HR	HANDICAP/ HOLLOW CORE HANDRAIL HARDWARE HARDWOOD HEIGHT HEATING HEATER HEATING/VENTILATION/AIRCONDITIONING HEAVY DUTY HIGH POINT, HIGH PRESSURE HOLLOW CORE HOLLOW METAL HORIZONTAL HOSE BIB HOT WATER HEATER HOUR	<b>O</b> OFF OC OPG OPP OH OD OA	OFFICE ON CENTER OPENING OPPOSITE OPPOSITE HAND OUTSIDE DIAMETER OVERALL	<b>U</b> UL UNF UON UR US U/V UTS	UNDERWRITER'S LAB, INC/ UNDERLAYMENT UNFINISHED UNLESS OTHERWISE NOTED URINAL URINAL SCREEN UNIT VENTILATOR UTILITY SHELF
<b>P</b> PT PTD PR PNL PTDP PTR PB PTN PVG PERF PSF PSI PLAS PLAM PL POL PLYWD PS PVA PVC PE PF PC	PAINT PRESSURE TREATED PAIR PANEL PAPER TOWEL DISPENSER PAPER TOWEL RECEPTACLE PARTICLE BOARD PARTITION PAVING PERFORATE(D) PER SQUARE FOOT PER SQUARE INCH PLASTER PLASTIC LAMINATE PLATE POLISHED PLYWOOD PROJECTION SCREEN POLYVINYL ACETATE POLYVINYL CHLORIDE PORCELAIN ENAMEL POROUS FILL PRECAST	<b>J</b> JC JT JST	JANITOR'S CLOSET JOINT JOIST	<b>Q</b> QT	QUARRY TILE	<b>V</b> VWCT VH WC WP WR WT. WWF W WB WF WIN W/ W/O WD WP	VAPOR BARRIER VARIES VERTICAL(LY) VESTIBULE VINYL COMPOSITION TILE VERIFY IN FIELD VINYL WALL COVERING
<b>R</b> RAD RP RL RECEP RFM RFL REFRIG REG REINF RH REQD RES RT RET RA REV	RADIUS RADIANT HEAT PANEL RAIN LEADER RECEPTABLE RECESSED FLOOR MAT REFLECT(ED)(IVE)(OR) REFRIGERATOR REGISTER REINFORCE(D), (ING) RELATIVE HUMIDITY REQUIRED RESILIENT RESILIENT TILE RETURN RETURN AIR REVISION(S), (ED)	<b>K</b> KIT KDN K/O	KITCHEN KNOCKDOWN KNOCK OUT	<b>W</b> WSCT WH WC WP WR WT. WWF W WB WF WIN W/ W/O WD WP	WAINSCOT WALL HUNG/WALL HYDRANT WATER CLOSET WATERPROOF WATER RESISTANT WEIGHT WELDED WIRE FABRIC WEST/WIDE/WIDTH WHITE BOARD WIDE FLANGE WINDOW WITH WITHOUT WOOD WORKING POINT	<b>Y</b> YD	YARD



WHEELING, WV  
MORGANTOWN, WV  
SHEPHERDSTOWN, WV  
EIKINS, WV

53 14<sup>TH</sup> ST, S 607  
88 HIGH STREET  
122 E GERMAN STREET  
102 THIRD STREET

WWW.MILLSGROUPONLINE.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

ABBREVIATIONS/SYMBOLS

Revision Schedule

No.	Revision Description	Date

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

G001

Scale 12" = 1'-0"

SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL COMMERCIAL NOTES

1. ALL WORK SHALL COMPLY WITH:  
THE CURRENT ED. ICC/IBC 2018 BUILDING CODE  
THE CURRENT ED. IEBC 2018 BUILDING CODE  
THE CURRENT ED. 2018 IPC / IMC PLUMBING AND MECHANICAL CODE  
THE CURRENT ED. 2020 NATIONAL ELECTRIC CODE, NFPA 70  
THE CURRENT ED. 2021 NFPA 101  
THE CURRENT ED. 2017 ANSI A117.1  
THE CURRENT ED. 2013 ASHRAE 90.1  
ALL OTHER APPLICABLE RULES AND REGULATIONS
2. THE ARCHITECT SHOULD NOT HAVE CONTROL OR BE IN CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. COMMENCEMENT OF THE WORK INDICATES THAT THE CONTRACTOR IS FAMILIAR WITH THESE DOCUMENTS AND AGREES TO ALL THE TERMS CONTAINED HEREIN.
4. WRITTEN SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
5. DO NOT SCALE DRAWINGS, WHERE MISSING OR CONFLICTING DIMENSIONS OCCUR, CONTRACTOR SHALL CONTACT ARCHITECT WITHOUT DELAY FOR CLARIFICATION.
6. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS, DETAILS AND DIMENSIONS BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
7. UNLESS OTHERWISE INDICATED IN THESE SPECIFICATIONS, THE CONTRACTOR, ALL SUB-CONTRACTORS AND SUPPLIERS SHALL PROVIDE GUARANTEES BASED ON INDUSTRY RECOGNIZED STANDARDS FOR THEIR PRODUCTS AND SERVICES. IN NO CASE SHALL THESE GUARANTEES REMAIN IN EFFECT FOR LESS THAN ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
8. IT IS INTENDED THAT ALL WORK BE OF FIRST QUALITY, AND ACCOMPLISHED IN A WORKMANLIKE MANNER BY SKILLED CRAFTSMEN USING ACCEPTED PRACTICES AND METHODS APPROPRIATE TO THE TRADES INVOLVED.
9. SUB-CONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THIS OPERATION. UPON THE COMPLETION OF THE WORK, HE SHALL REMOVE ALL HIS WASTE MATERIALS FROM ABOUT THE PROJECT AS WELL AS ALL HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS.
10. SUB-CONTRACTORS SHALL PROVIDE THE GENERAL CONTRACTORS WITH SUCH PLANS AND INFORMATION AS MAY BE REQUIRED FOR THIS ISSUANCE OF ACCEPTANCE CERTIFICATES.

EXCAVATION

1. EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTINGS SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY)
2. EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

1. PROVIDE 1/2" DIA STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.
2. PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
3. SLOPE GRADE AWAY FROM FOUNDATION WALL 6" MIN. WITHIN THE FIRST 10 FEET.
4. PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS, AND ANY LUMBER IN CONTACT WITH MASONRY.
5. PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

BASEMENT (IF APPLICABLE)

1. ALL GIRDER JOINTS SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY.
2. DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

FRAMING

1. ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.
2. ALL LOAD BEARING WALL SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.
3. DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS:  
GRADE: 2950FB-2.0E  
BENDING FB: 2950  
MOE: 2.0 X 10 ^ 6  
SHEAR FV: 290
4. PROVIDE FOAM SILL SEAL BETWEEN FOUNDATION WALL AND PRESSURE TREATED WALL SILL PLATE.

INSULATION & MOISTURE PROTECTION

1. PROVIDE 30 LB. BUILDING FELT OR PAPER AT MASONRY VENEER WITH FLASHING AT OPENINGS TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
2. PROVIDE MINIMUM ONE LAYER OF 30 LB. SYNTHETIC ROOFING UNDERLAYMENT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
3. PROVIDE INSULATION AS FOLLOWS AS A MINIMUM
- | COMPONENT                  | CLIMATE ZONE 4A:                                     |
|----------------------------|--|
| ROOF/ATTIC AREAS:          | R-38, FIBERGLASS BATT OR BLOWN                       |
| EXTERIOR WOOD FRAME WALLS: | R-20, KRAFT-FACED, FIBERGLASS BATT OR (R-13+R-3.8ci) |
| MASS WALL:                 | R-9.5ci  |
| FLOOR (JOIST/FRAMING:      | R-30   |
| BASEMENT EXTERIOR WALLS:   | R-7.5ci  |
| SLAB                       | R-10 (2 FT PERIMETER)                                |
| WINDOW/GLASS:              | U-FACTOR < 0.38 (FIXED) <0.45 (OPERABLE)             |
| SKYLIGHTS                  | U-FACTOR < 0.55                                      |
| OPAQUE DOORS (SWINGING):   | U-FACTOR < 0.61                                      |
4. THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOWS AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION, SIMILAR FLASHINGS SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, WOOD OR METAL COPINGS AND SILLS.
5. THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFIT AT THE ROOF EAVES AND CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

STAIRS, HANDRAILS, AND GUARDS

1. STAIRS SHALL COMPLY WITH SECTION R311.5 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT; 31.5 INCHES WHERE A HANDRAIL IS INSTALL ON ONE SIDE; 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 ABOVE TREAD NOSING.
2. MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES.
3. MAXIMUM STAIR RISER HEIGHT SHALL BE 7 INCHES AND A MINIMUM TREAD DEPTH SHALL BE 11 INCHES. (UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS)
4. PORCHES, BALCONIES, RAMPS, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. BALCONIES OVER 8' ABOVE GRADE SHALL HAVE GUARDS AT 42" IN HEIGHT.
5. REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

EMERGENCY EGRESS REQUIREMENTS

1. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDING TO VERIFY CONFORMITY WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY THE WINDOW MANUFACTURER.

DESIGN LOADS

1. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWING AND INDICATED IN THE GENERAL NOTES.
2. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
- |                                       |   |
|---------------------------------------|---|
| FLOOR LOAD (U.O.N.)                   | LL=40 PSF / DL=10 PSF                                 |
| SLEEPING RMS / ATTIC WITH FIXED STAIR | LL=30 PSF / DL=10 PSF                                 |
| GARAGE FLOOR                          | LL=50 PSF / 2000# POINT                               |
| ROOF LIVE LOAD                        | MIN. 30 PSF   |
| ATTIC AND TRUSS BOTTOM CHORD          | LL=20 PSF (LIMITED STORAGE)<br>LL=10 PSF (NO STORAGE) |
3. ROOF SNOW LOAD DESIGN CRITERIA:
- |                           |        |
|---------------------------|--------|
| GROUND SNOW LOAD (PG)=    | 30 PSF |
| FLAT ROOF SNOW LOAD (PF)= | 21 PSF |
| EXPOSURE FACTOR (CE)=     | 1      |
| IMPORTANCE FACTOR (I)=    | 1      |
4. WIND LOAD DESIGN CRITERIA:
- |                        |        |
|------------------------|--------|
| BASIC WIND SPEED=      | 90 MPH |
| WIND EXPOSURE=         | B      |
| IMPORTANCE FACTOR (I)= | 1      |

MISCELLANEOUS

1. PROVIDED APPROVED VAPOR BARRIER ON WARM SIDE OF HEATED SPACE WHEN INSULATING FLOOR, WALLS, AND CEILING.
2. LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.
3. SUBJECT TO DAMAGE FROM:
- |                  |                    |
|------------------|--------------------|
| WEATHERING       | SEVERE             |
| FROST LINE DEPTH | 36"                |
| TERMITE          | MODERATE TO HEAVY  |
| DECAY            | SLIGHT TO MODERATE |
4. TEMPERATURE:
- |                                  |       |
|----------------------------------|-------|
| WINTER DESIGN TEMPERATURE        | 13° F |
| ICE SHIELD UNDERLAYMENT REQUIRED | YES   |
| AIR FREEZING INDEX               | 300   |
| MEAN ANNUAL TEMPERATURE          | 55° F |
5. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.



WHEELING, WV  
MORGANTOWN, WV  
SHEPHERDSTOWN, WV  
ELKINS, WV

53 14<sup>TH</sup> ST, S 607  
88 HIGH STREET  
122 E GERMAN STREET  
102 THIRD STREET

WWW.MILLSGROUPONLINE.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:

MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

COMMERCIAL NOTES

Revision Schedule

No.	Revision Description	Date
-----	----------------------	------

INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

G002

Scale 12" = 1'-0"

SCALE REFERS TO 24" X 36" PAPER SIZE

8/28/2023 4:45:21 PM

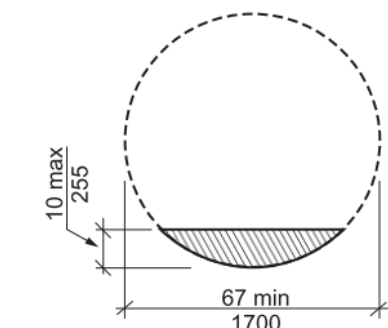




CLEAR FLOOR SPACE NOTES:  
1.DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES (304.4)

2.ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER CLEAR FLOOR SPACE (305.6)

3.A CLEAR FLOOR SPACE IS REQUIRED AT ANY DEVICE WITH AN OPERABLE PART (309.2)



Overlap of knee and toe clearance  
FIGURE 304.3.1.1  
CIRCULAR TURNING SPACE - NEW BUILDINGS  
SIZE AND OVERLAP

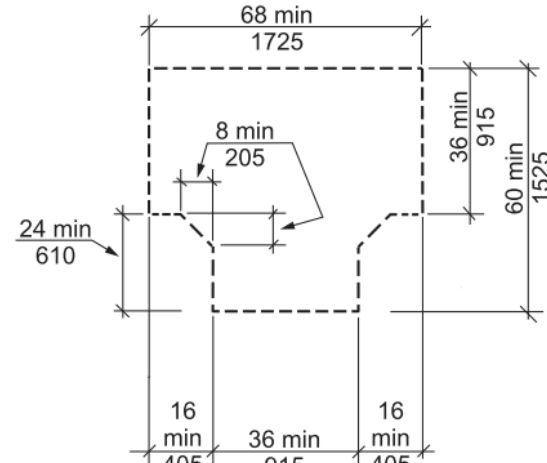


FIGURE 304.3.2.1(A)  
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 1

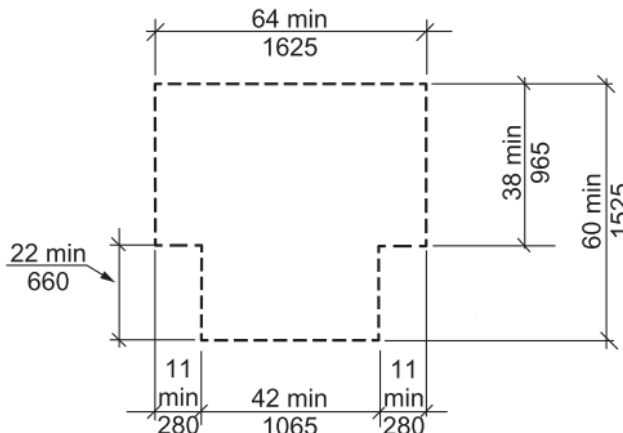


FIGURE 304.3.2.1(B)  
T-SHAPED TURNING SPACE - NEW BUILDINGS - OPTION 2

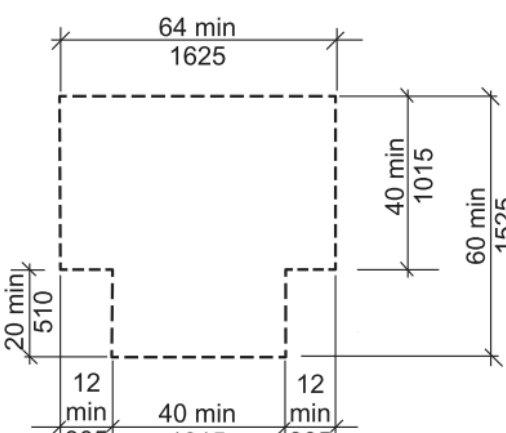


FIGURE 304.3.2.1(C)  
T-SHAPED TURNING SPACE  
NEW BUILDINGS - OPTION 3

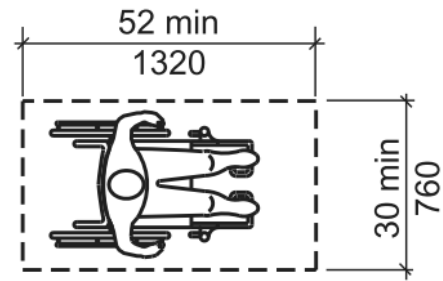


FIGURE 305.3.1  
SIZE OF CLEAR FLOOR SPACE - NEW BUILDINGS

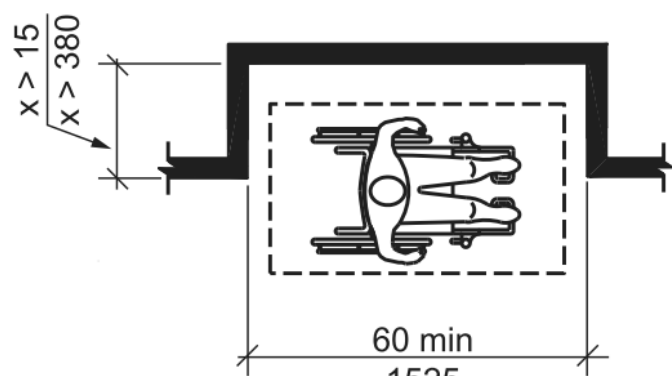


FIGURE 305.7.1  
MANEUVERING CLEARANCE IN AN ALCOVE  
PARALLEL APPROACH

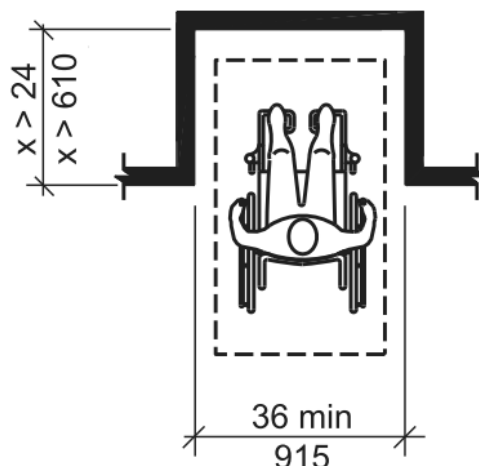


FIGURE 305.7.2  
MANEUVERING CLEARANCE IN AN ALCOVE  
FORWARD APPROACH

#### MINIMUM CLEAR FLOOR SPACE

Ref. Sections 304 & 305

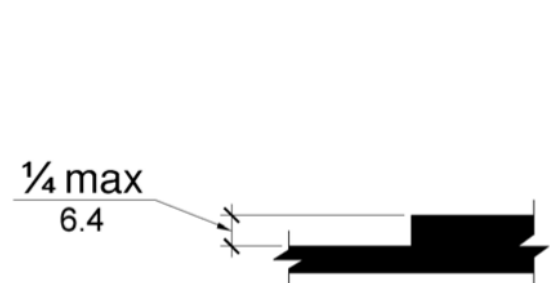


Figure 303.2  
Vertical Change in Level

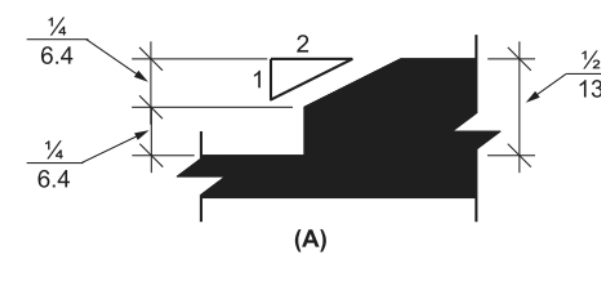


FIGURE 303.3  
BEVELED CHANGES IN LEVEL

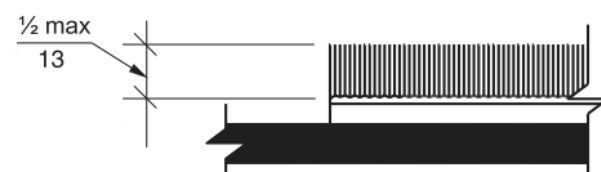


FIGURE 302.2  
CARPET ON FLOOR SURFACES

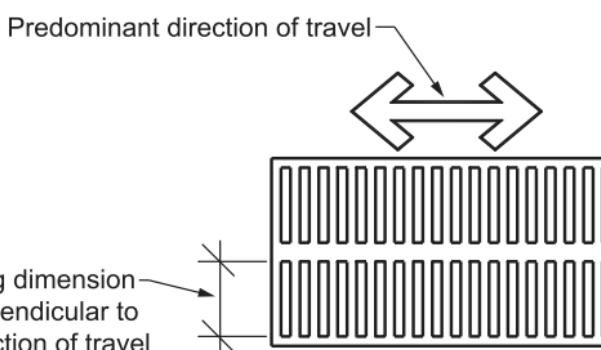


FIGURE 302.3  
OPENINGS IN FLOOR SURFACES

#### FLOOR & GROUND SURFACES

Ref. Sections 302 & 303

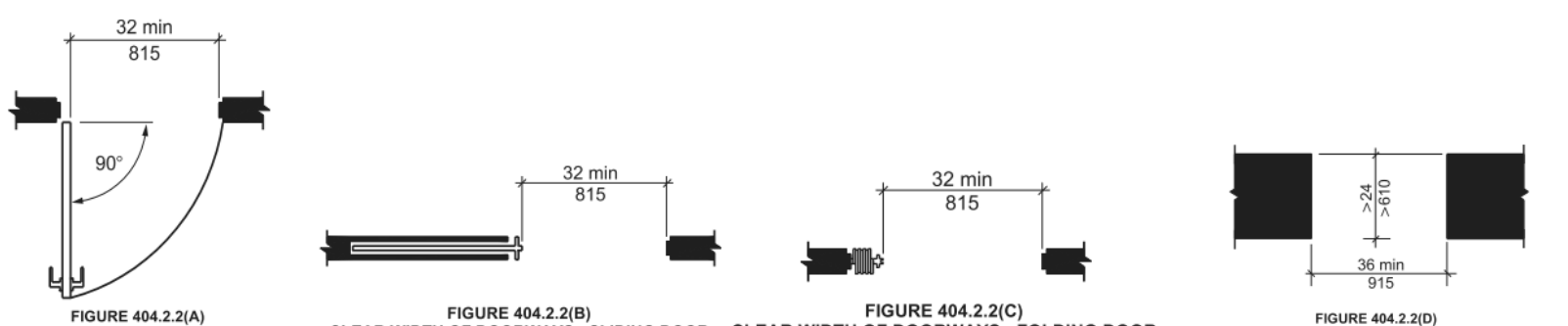


FIGURE 404.2.2(A)  
CLEAR WIDTH OF DOORWAYS - HINGED DOOR

FIGURE 404.2.2(B)  
CLEAR WIDTH OF DOORWAYS - SLIDING DOOR

FIGURE 404.2.2(C)  
CLEAR WIDTH OF DOORWAYS - FOLDING DOOR

FIGURE 404.2.2(D)  
CLEAR WIDTH OF DOORWAYS - DOORWAYS WITHIN DOORS

#### CLEAR WIDTH OF DOORWAYS

Fig. 404.2.2

ACCESSIBLE ROUTE NOTE:  
THE RUNNING SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48 (403.3)

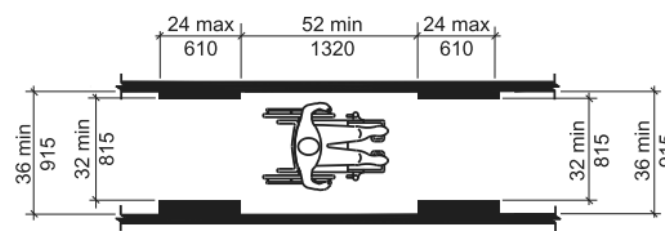


FIGURE 403.5.1(A)  
CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - INTERIOR

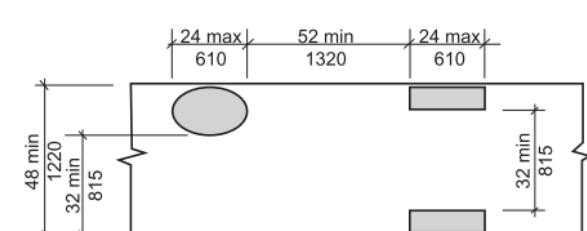


FIGURE 403.5.1(B)  
CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - EXTERIOR

#### ACCESSIBLE ROUTE

Ref. Sections 402

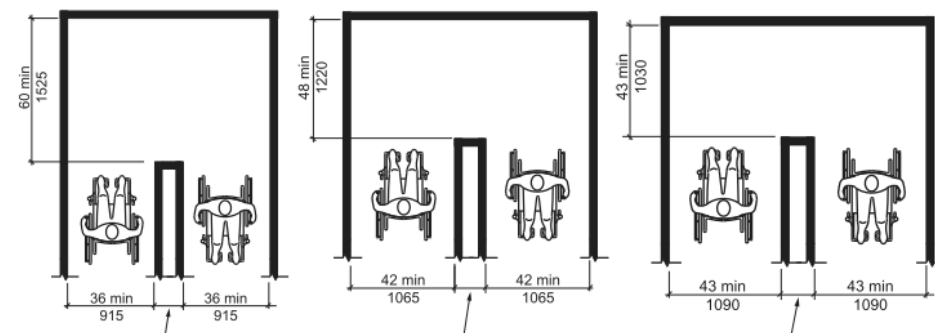
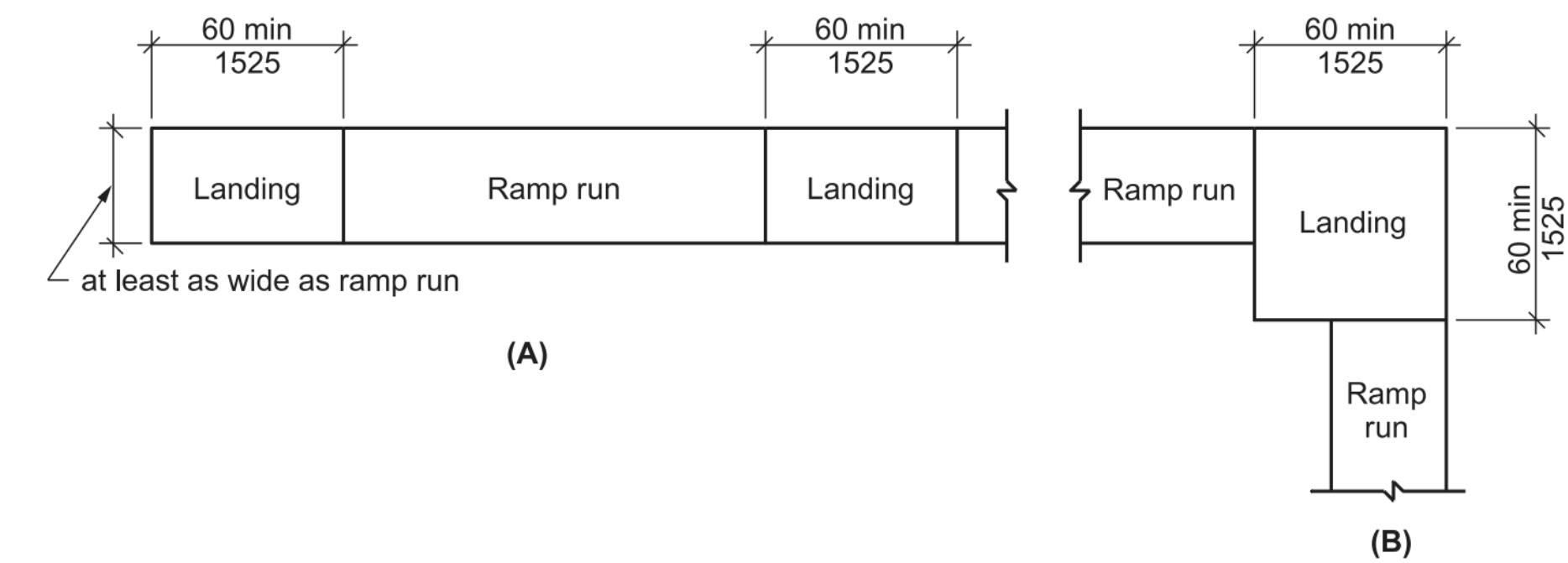


FIGURE 403.5.2.1(A)  
CLEAR WIDTH AT 180-DEGREE TURN  
NEW BUILDINGS - OPTION 1

FIGURE 403.5.2.1(B)  
CLEAR WIDTH AT 180-DEGREE TURN  
NEW BUILDINGS - OPTION 2

FIGURE 403.5.2.1(C)  
CLEAR WIDTH AT 180-DEGREE TURN  
NEW BUILDINGS - OPTION 3



(A)

(B)

FIGURE 405.7  
RAMP LANDINGS

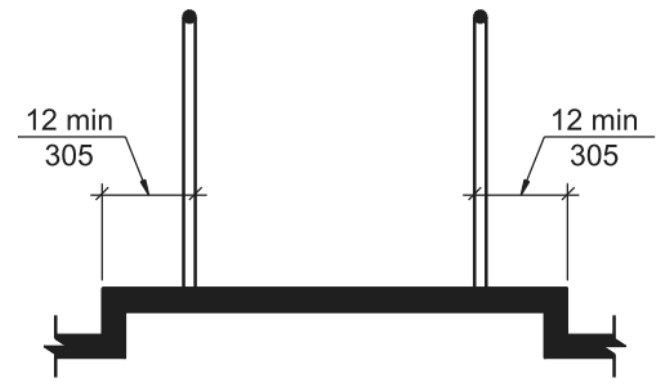


FIGURE 405.9.1  
EXTENDED FLOOR SURFACE

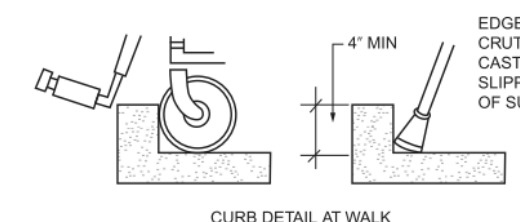


Figure C 405.9.2  
CURB DETAIL AT WALK

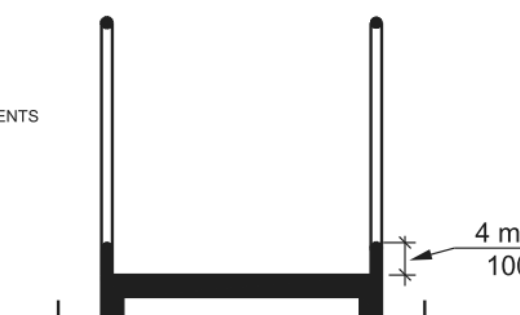


FIGURE 405.9.2.1  
CURB

#### HANDRAILS

Ref. Sections 505

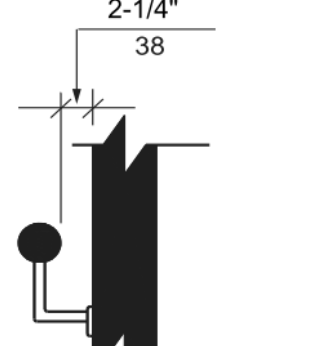


FIGURE 505.5  
HANDRAIL CLEARANCE

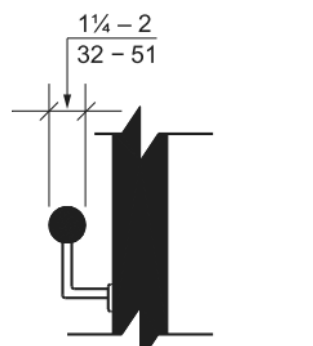


FIGURE 505.7(A)  
HANDRAIL CROSS SECTION - CIRCULAR

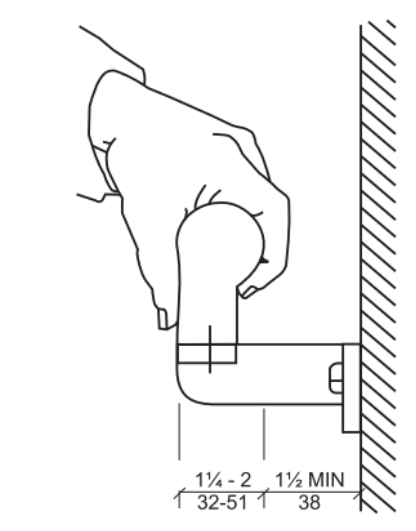


Figure C505.6  
HANDRAIL/CRASH GUARD COMBINATION



FIGURE 505.7(B)  
HANDRAIL CROSS SECTION - NONCIRCULAR

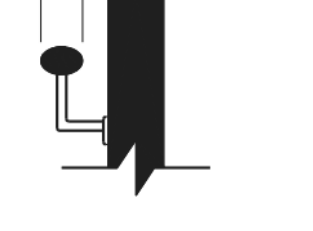


FIGURE 505.7(C)  
HANDRAIL CROSS SECTION - NONCIRCULAR

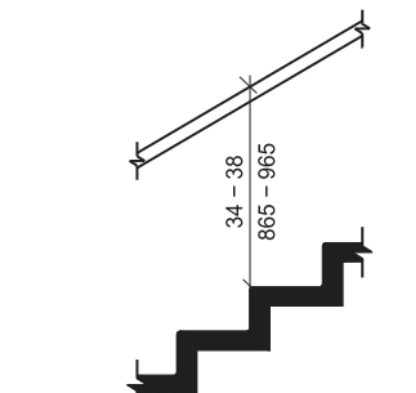


FIGURE 505.4(A)  
HANDRAIL HEIGHT - STAIRS

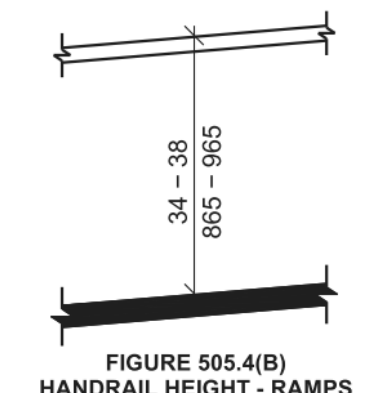
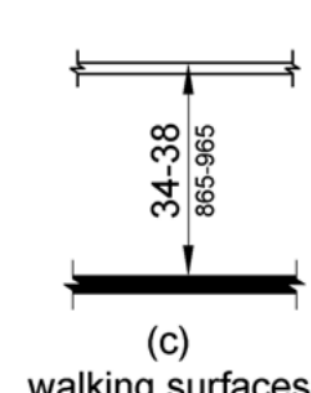


FIGURE 505.4(B)  
HANDRAIL HEIGHT - RAMP



(c)  
walking surfaces

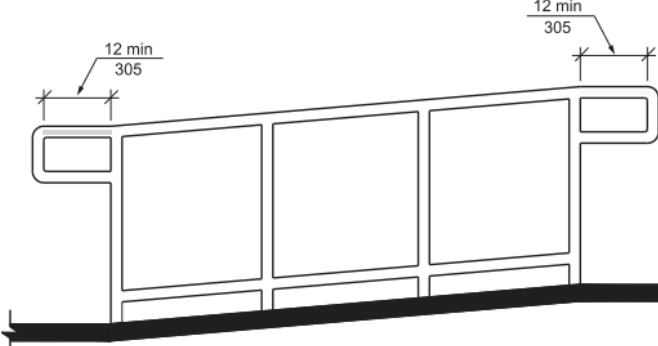


FIGURE 505.16.1  
TOP AND BOTTOM HANDRAIL EXTENSION AT RAMP

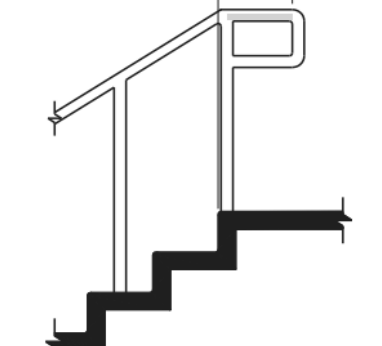


FIGURE 505.16.2  
TOP HANDRAIL EXTENSION AT STAIRS

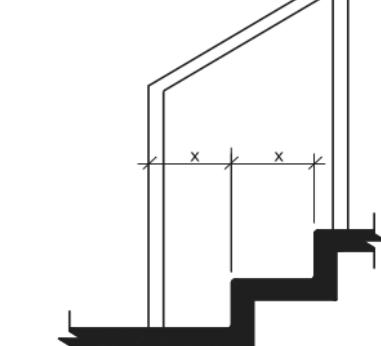


FIGURE 505.16.3  
BOTTOM HANDRAIL EXTENSION AT STAIRS

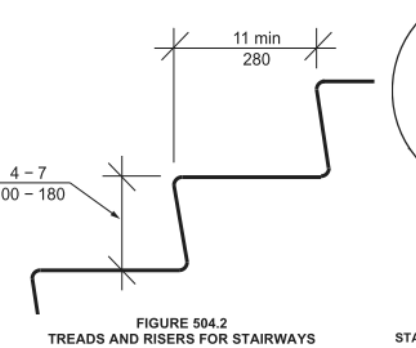


FIGURE 504.2  
TREADS AND RISERS FOR STAIRWAYS

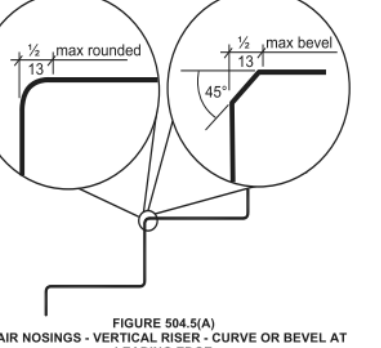


FIGURE 504.5(A)  
STAIR NOSINGS - VERTICAL RISER, CURVE OR BEVEL AT LEADING EDGE

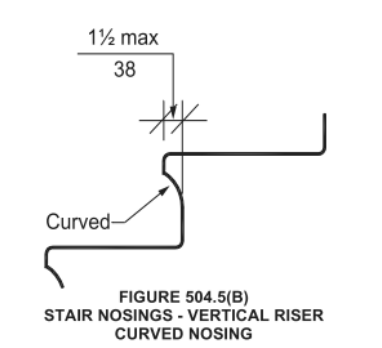


FIGURE 504.5(B)  
STAIR NOSINGS - VERTICAL RISER, CURVED NOSING

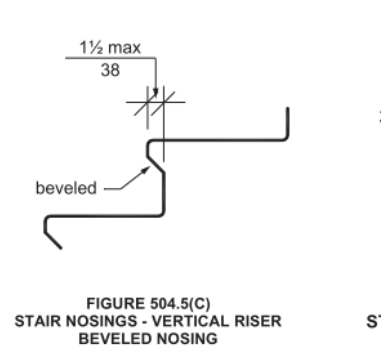


FIGURE 504.5(C)  
STAIR NOSINGS - VERTICAL RISER, BEVELED NOSING

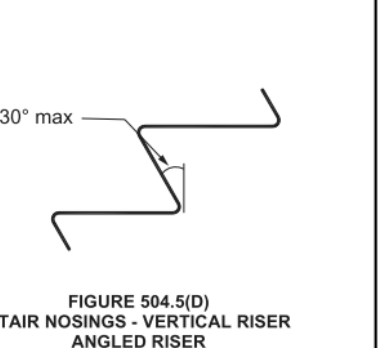
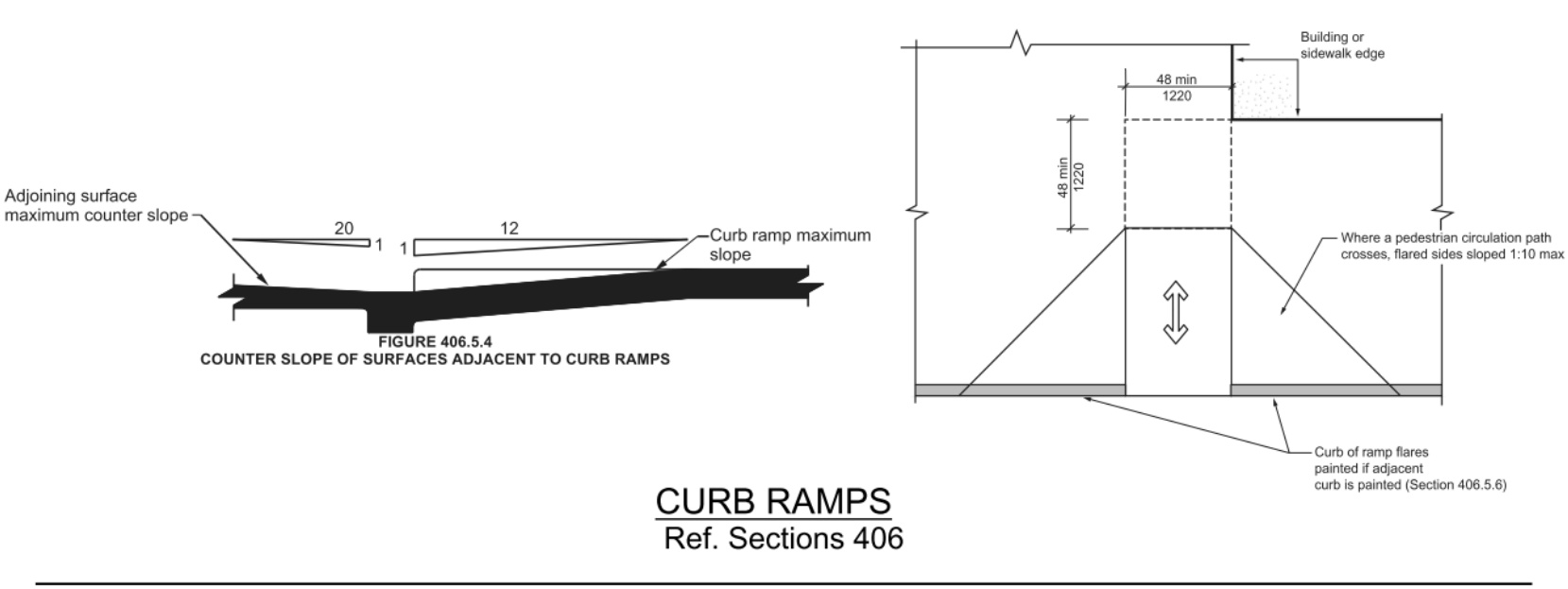


FIGURE 504.5(D)  
STAIR NOSINGS - VERTICAL RISER, ANGLED RISER

#### STAIRWAYS & HANDRAILS

Ref. Sections 504 & 505



CURB RAMP  
Ref. Sections 406

GENERAL SITE NOTES:  
1.ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL BE LEVEL. MAXIMUM PERMITTED SLOPE IS 1:48 (502.5)

2.ACCESSIBLE PARKING SPACES MUST BE IDENTIFIED WITH A SIGN. SIGNS IDENTIFYING VAN ACCESSIBLE SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE MINIMUM 60" FROM THE PARKING SURFACE TO THE BOTTOM OF THE SIGN. ( 502.7)

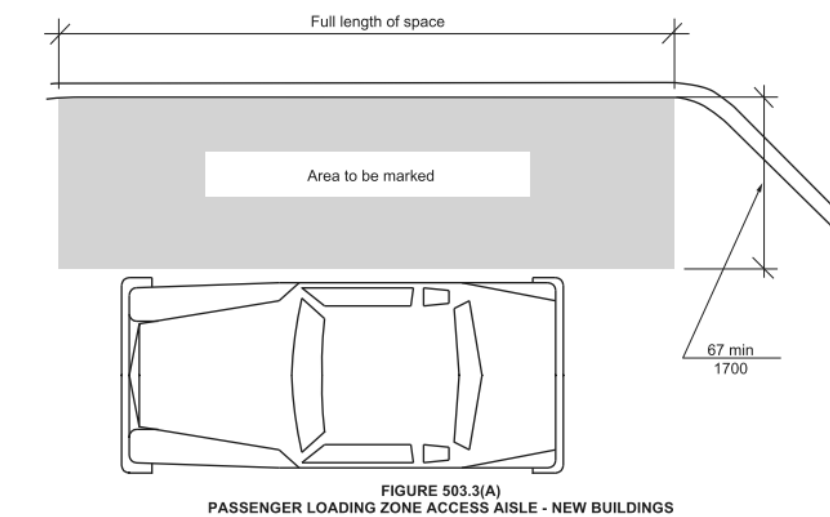


FIGURE 503.3(A)  
PASSENGER LOADING ZONE ACCESS AISLE - NEW BUILDINGS

#### IDENTIFICATION

Ref. Sections 502.6



60" MIN  
ABOVE  
PARKING  
SURFACE

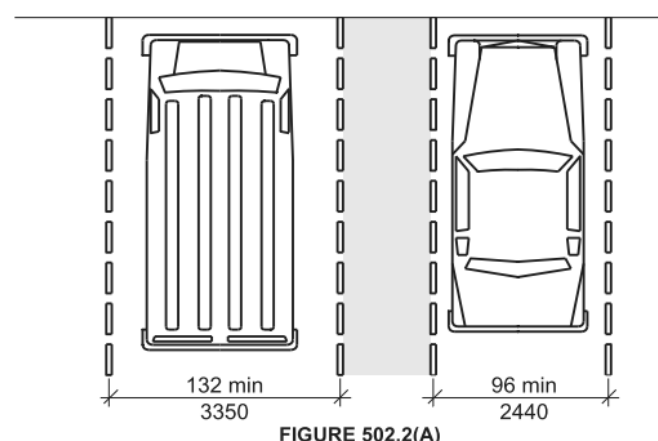


FIGURE 502.2(A)  
VEHICLE PARKING SPACE SIZE

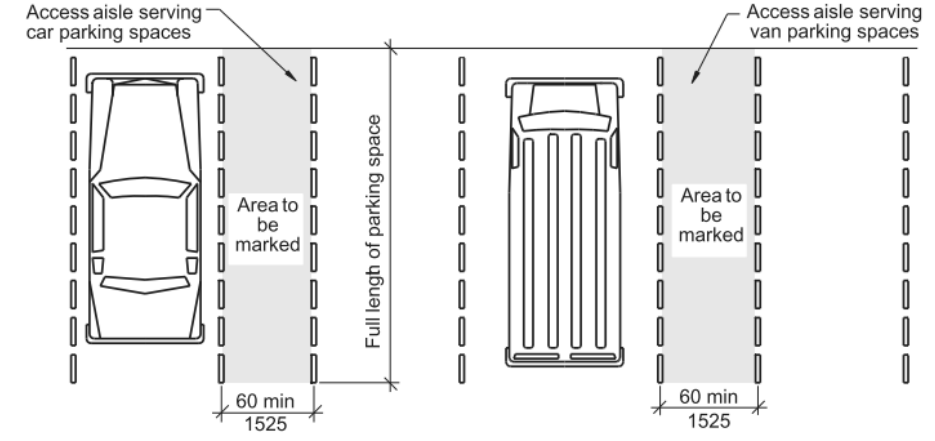


FIGURE 502.4  
PARKING SPACE ACCESS AISLE

#### PARKING & PASSENGER LOADING ZONES

Ref. Sections 502 & 503

NOTES:  
1.PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES (307.5)

2.PROTRUDING OBJECTS ON A CIRCULATION PATH SHALL COMPLY WITH SECTION 307

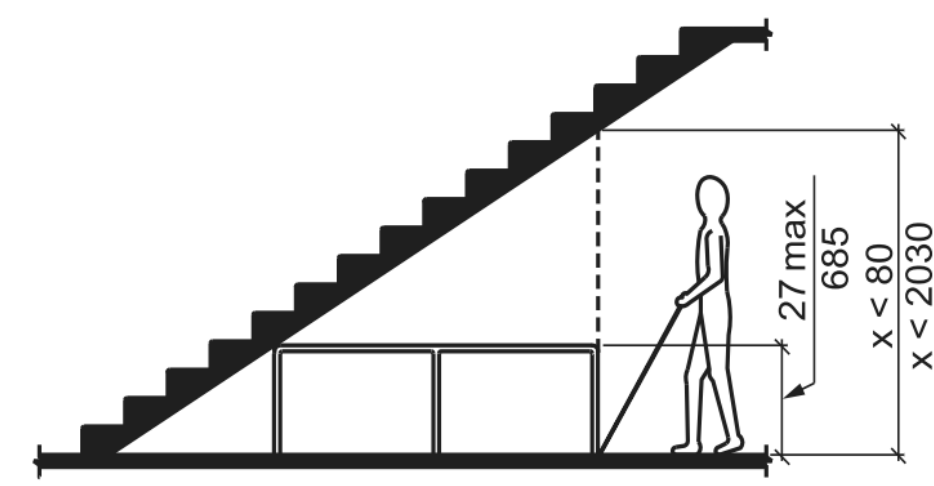


FIGURE 307.4  
REDUCED VERTICAL CLEARANCE

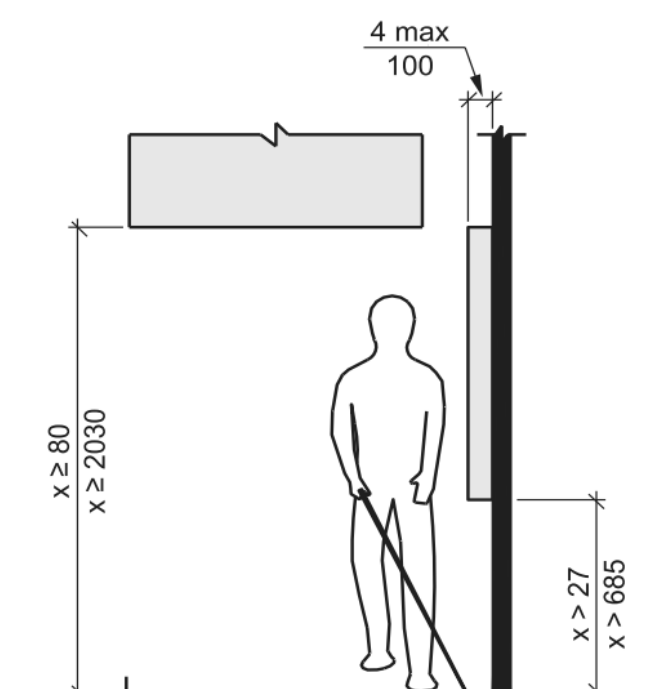


FIGURE 307.2  
LIMITS OF PROTRUDING OBJECTS

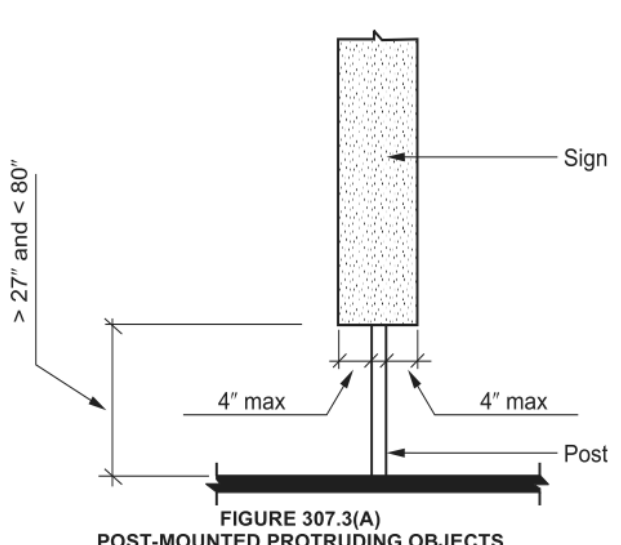


FIGURE 307.3(A)  
POST-MOUNTED PROTRUDING OBJECTS

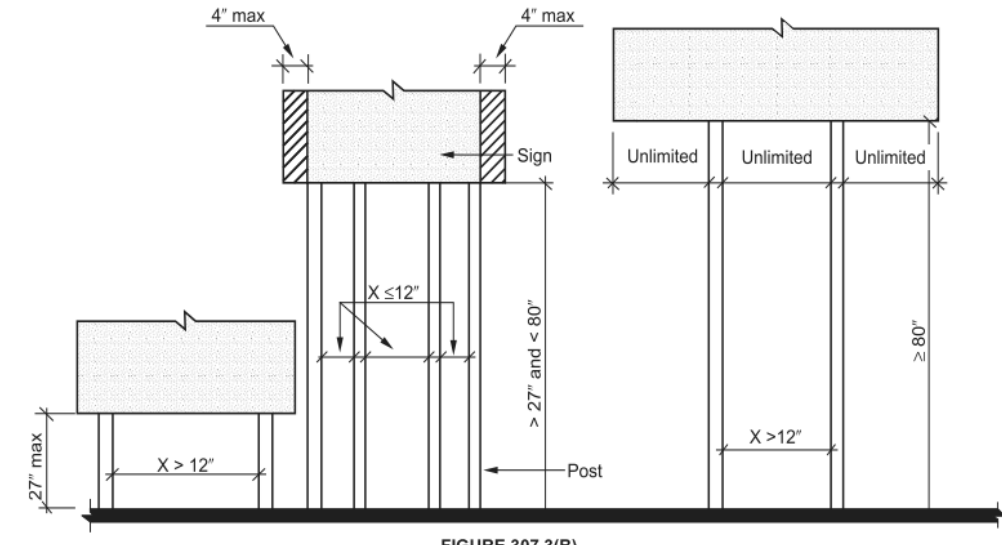


FIGURE 307.3(B)  
POST-MOUNTED PROTRUDING OBJECTS

#### PROTRUDING OBJECTS

Ref. Sections 307

#### PRELIMINARY NOT FOR CONSTRUCTION

PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
ADA STANDARDS

#### Revision Schedule

No.	Revision Description	Date
-----	----------------------	------

#### INTENDED DRAWING USE:

#### SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

G021

#### Scale

SCALE REFERS TO 24" X 36" PAPER SIZE





GENERAL NOTES

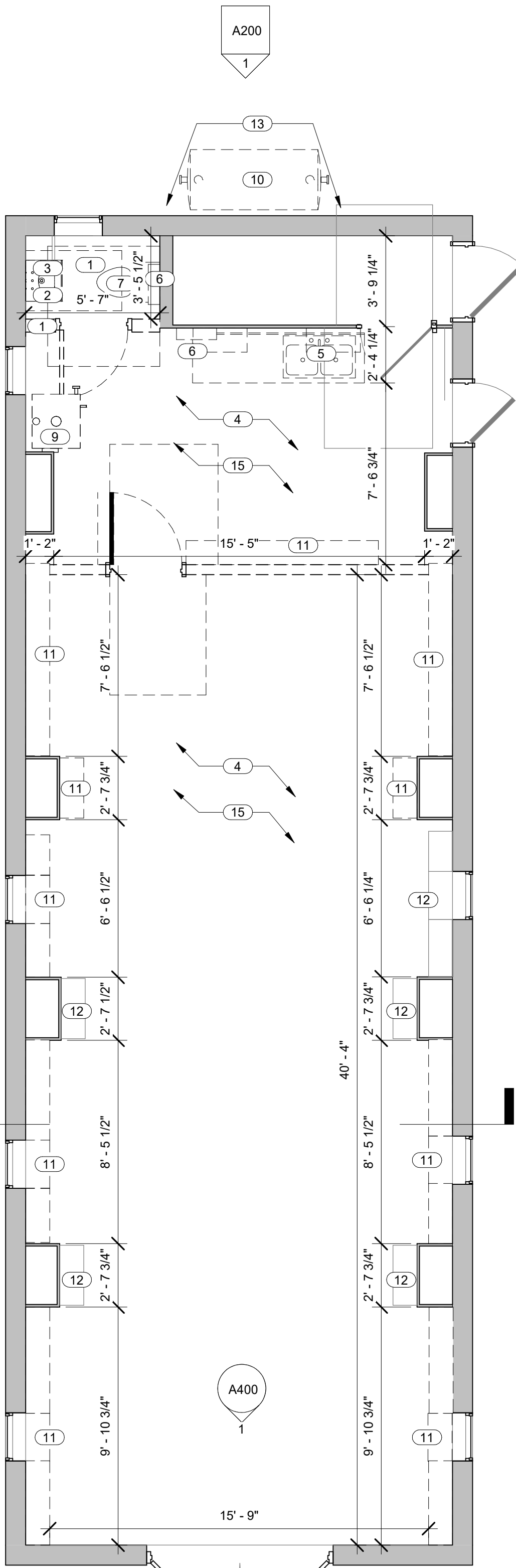
- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM; REFER TO MEP DRAWINGS FOR MORE INFORMATION
- DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
- EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
- REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
- EXISTING CASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
- REMOVE AND REPLACE EXISTING MECH. UNIT, REFER TO MEP DRAWINGS.
- REMOVE/RELOCATE EXISTING TOILET. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- REMOVE BOILER, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- REMOVE FUEL OIL TANK, REFER TO MEP SHEETS & COORDINATE WITH OWNER
- RELOCATE ELECTRICAL PANEL AND FIXTURES, REFER TO ELECTRICAL SHEETS
- REMOVE BOOKCASES, SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
- ETR BOOKCASES
- PREP EX. SITE FOR NEW EQUIP. PAD, REFER TO MECH. DWGS.
- DEMO EX. FLOOR STRUCT. TO ACCOMODATE NEW LU/LA SHAFT, REF. TO STRUCT. DEMO SHEET
- DEMO ENTIRE EXISTING FIRST FLOOR CEILING AND LIGHT FIXTURES.

DEMO LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



GENERAL NOTES

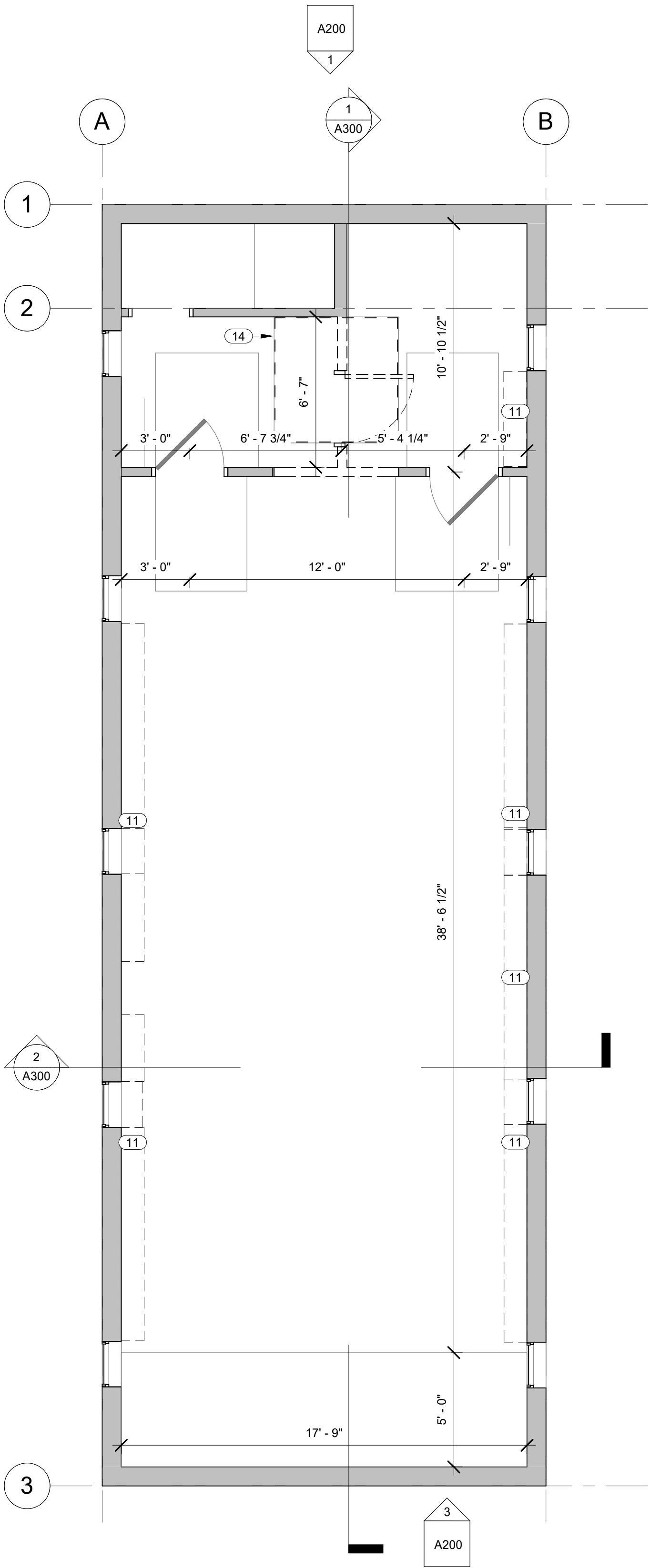
- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

1. DEMOLITION WORK REQ'D AT EXISTING FLOOR AND WALLS FOR NEW TOILET ROOM; REFER TO MEP DRAWINGS FOR MORE INFORMATION
2. DEMOLISH SINK; REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
3. EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. DEAL AND CAP WATER LINES AS REQUIRED. COORDINATE WITH MEP SHEETS FOR ADDITIONAL DEMO WORK INVOLVED.
4. REMOVE/DEMO EXISTING FLOOR, PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
5. EXISTING CASEWORK, COUNTER AND SINK TO BE REMOVED. SEAL AND CAP WATER LINES AS REQUIRED.
6. REMOVE AND REPLACE EXISTING MECH. UNIT, REFER TO MEP DRAWINGS.
7. REMOVE/RELOCATE EXISTING TOILET, REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
8. REMOVE BOILER, REFER TO MEP SHEETS & COORDINATE WITH OWNER
9. REMOVE FUEL OIL TANK, REFER TO MEP SHEETS & COORDINATE WITH OWNER
10. RELOCATE ELECTRICAL PANEL AND FIXTURES, REFER TO ELECTRICAL SHEETS
11. REMOVE BOOKCASES, SALVAGE EX. MATERIAL FOR REUSE IN NEW CONST.
12. ETR BOOKCASES
13. PREP EX. SITE FOR NEW EQUIP. PAD, REFER TO MECH. DWGS.
14. DEMO EX. FLOOR STRUCT. TO ACCOMMODATE NEW LULA SHAFT, REF. TO STRUCT. DEMO SHEET.
15. SHEET 15.15 - EXISTING FLOOR, CEILING AND LIGHT FIXTURES

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



1 LEVEL 2-DEMO  
1/4" = 1'-0"



WHEELING, WV 53 14TH ST, S 607  
MORGANTOWN, WV 88 HIGH STREET  
SHEPHERDSTOWN, WV 122 E GERMAN STREET  
EIKINS, WV 102 THIRD STREET

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PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

LEVEL 2 - DEMOLITION

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

Drawn by Author

Checked by Checker

D101

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. EXISTING WALLS, CEILINGS AND MEP ARE REMOVED PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

1. ADD DISPLAY CASES
2. ADD L SHAPE RECEPTION DESK
3. INSTALL NEW FLOOR MOUNTED GARAVENTA-  
4. GUNN SHAFETY SW-380 LULU FOR  
HANDICAP ACCESS TO SECOND FLOOR  
5. SOUND ABSORBING PAD W/ 6" SNOW LEGS,  
COORD. W/ HEAT PUMP MANUFACTURER  
REQM'TS
6. NEW MINI SPLIT HEAT PUMP, REFER TO MECH.  
DWGS.
7. NEW MINI SPLIT WALL MOUNTED AIR HANDLER  
8. NEW SMALL SIZE REFRIGERATOR, TBD BY  
OWNER
9. NEW SMALL SIZE MICROWAVE, TBD BY OWNER
10. PANTRY BASE CAB., COUNTER TOP AND SINK TBD  
BY OWNER
11. ETR SHELVING
12. REPLACE SHELVING WITH STOR. CABINET
13. RELOCATED ELEC. PANEL
14. NEW STOR. CABINETS, DIMS WILL VARY ACCORD.  
TO WIDTH OF SHELVES



WHEELING, WV	53 14 <sup>TH</sup> ST, S 607
MORGANTOWN, WV	88 HIGH STREET
SHEPHERDSTOWN, WV	122 E GERMAN STREET
ELKINS, WV	102 THIRD STREET

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PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST  
PHERDSTOWN, WV 25405  
SHEPHERDSTOWN  
LEVEL 1 PLAN

Revision Schedule		
No.	Description	Date

**INTENDED DRAWING USE:**

# SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	RS
Checked by	MM, JK

# A100

Scale
As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.
- E.

KEYED NOTES

- 1. EX. ELEVATED PLATFORM
- 2. NEW MINI SPLIT WALL MOUNTED AIR HANDLER



WHEELING, WV 53 14<sup>TH</sup> ST, S 607  
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SHEPHERDSTOWN, WV 122 E GERMAN STREET  
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PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

LEVEL 2 PLAN

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

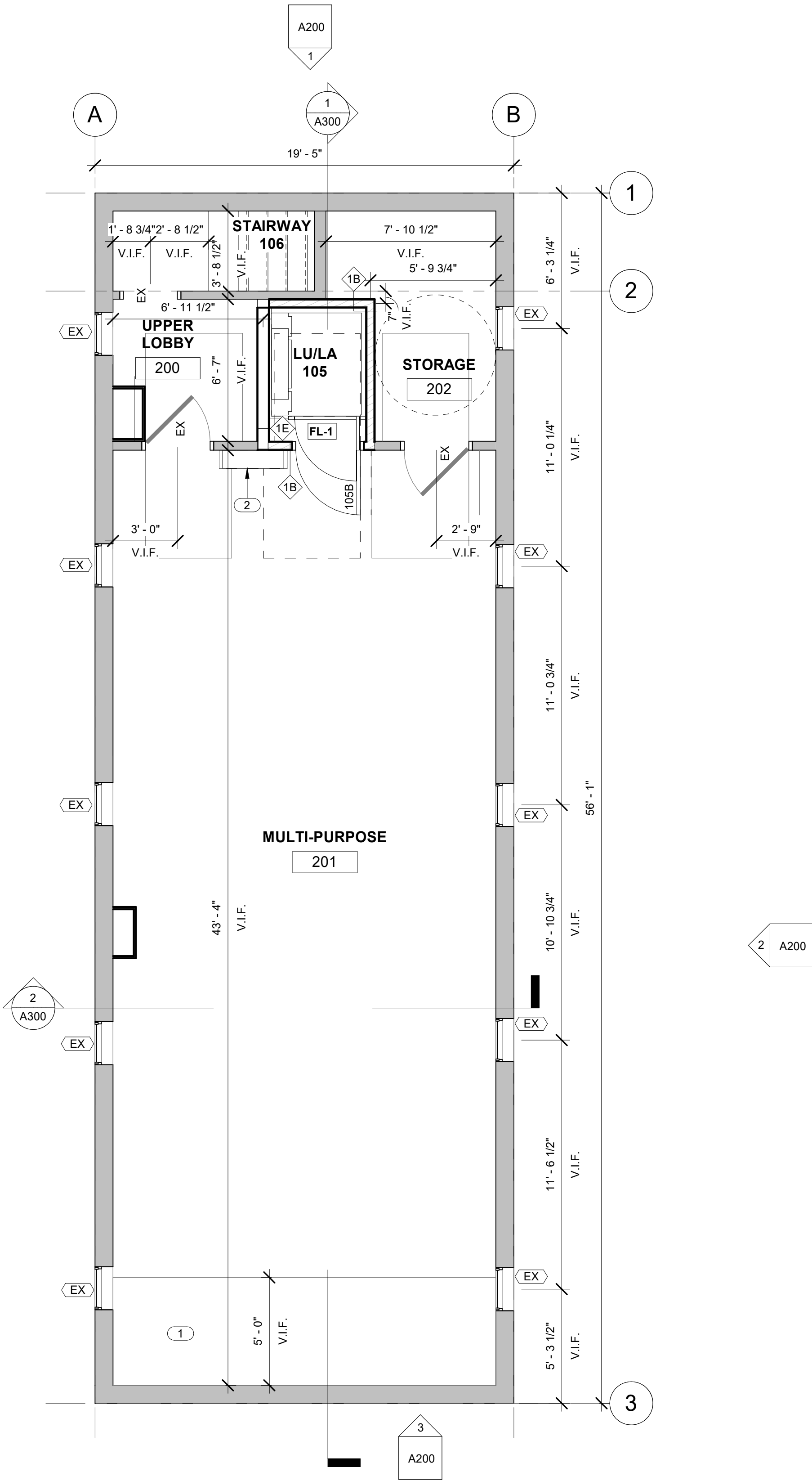
Drawn by Author

Checked by Checker

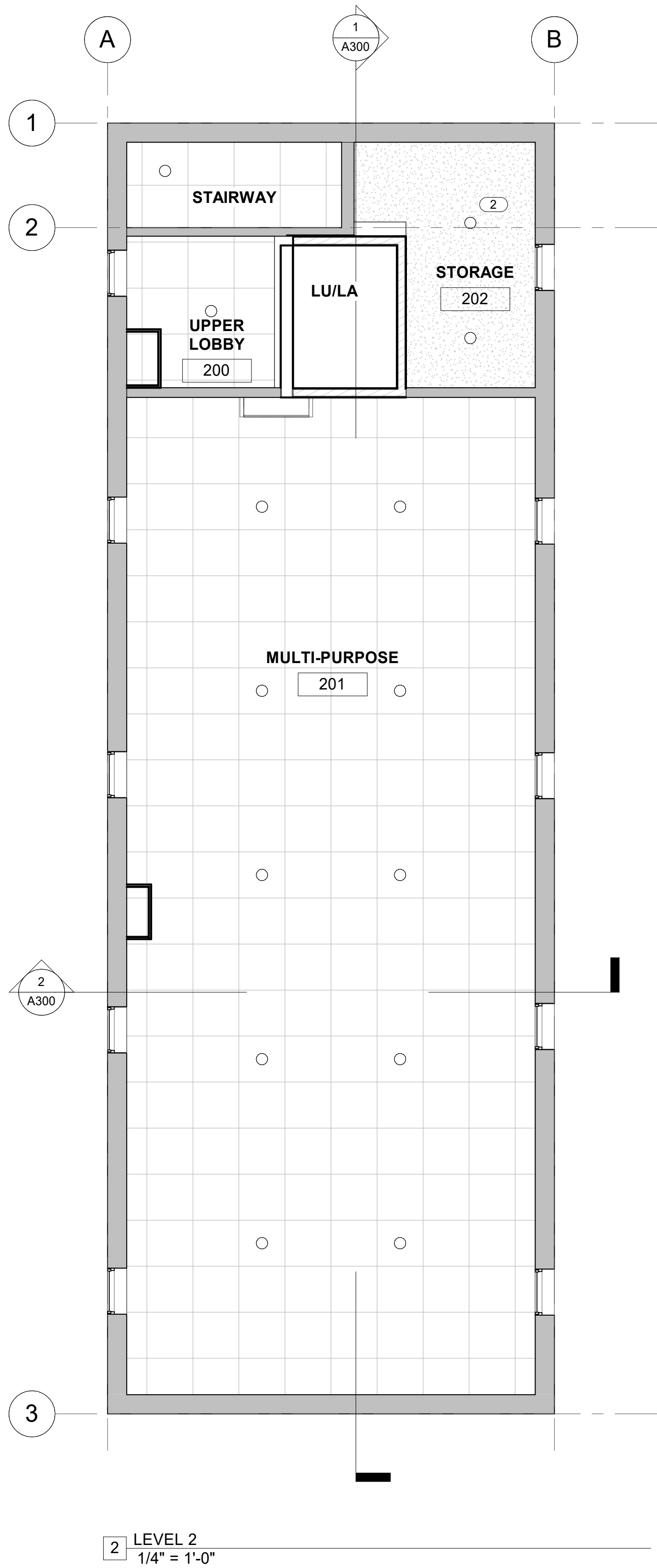
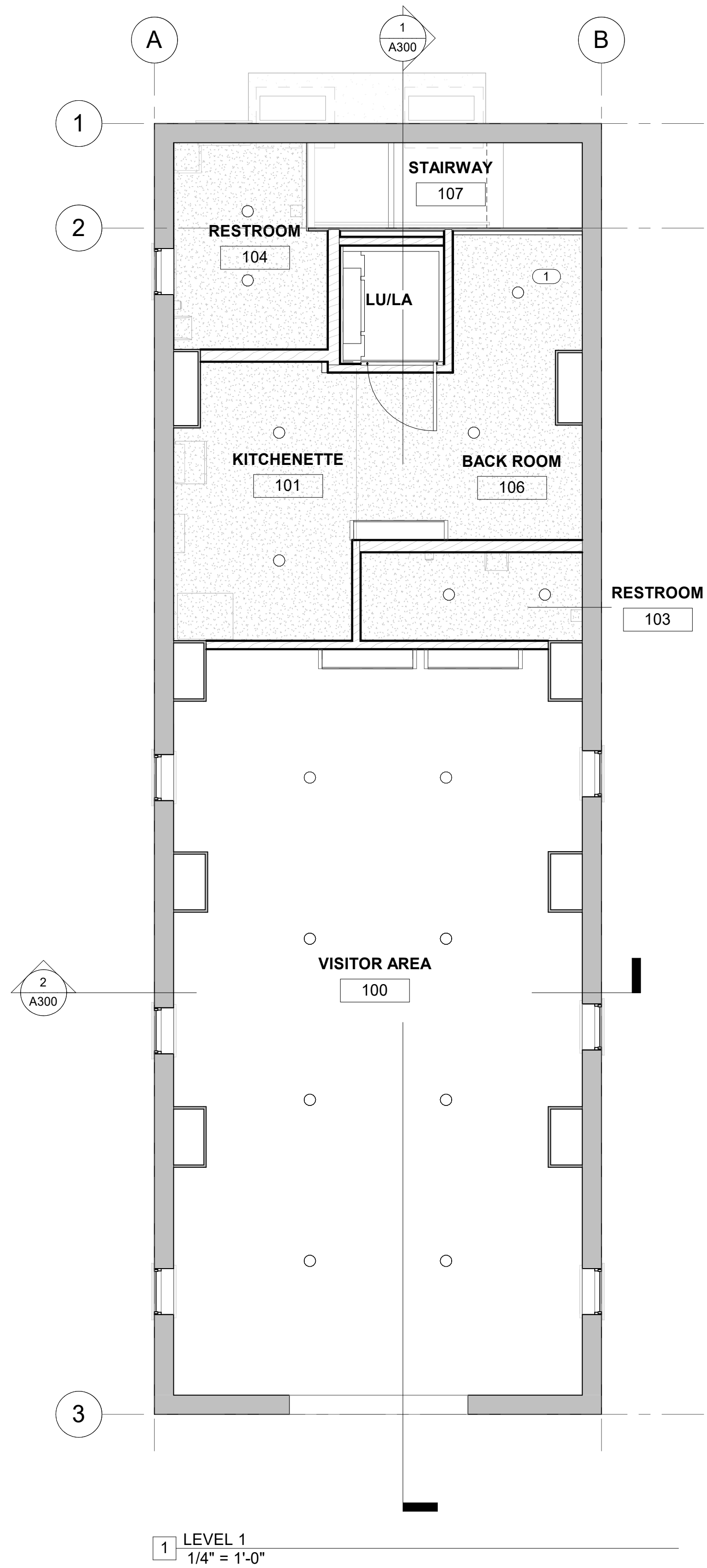
A102

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE



1 LEVEL 2 - NEW FLOOR PLAN  
1/4" = 1'-0"



## GENERAL NOTES

- A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- EXISTING CEILINGS AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED. SEE D111 & D112 FOR ADDITIONAL DETAILS.
- WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

## KEYED NOTES

- LOCATIONS IDENTIFIED FOR LIGHTING FIXTURES TO BE SELECTED BY OWNER, INSTALLED BY CONTRACTOR.
- USE EXISTING LIGHT LOCATIONS WHERE POSSIBLE, INSTALL NEW FIXTURES, SELECTED BY OWNER



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PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
REFLECTED CEILING PLAN - LEVEL 1

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
SCHEMATIC DESIGN		
Project number		23-061
Date		08-28-2023
Drawn by		Author
Checked by		Checker
A110		
Scale		As indicated
SCALE REFERS TO 24" X 36" PAPER SIZE		



KEYED NOTES

1.
- NEW MINI SPLIT HEAT PUMP, REFER TO MECH. DWGS.
2.
- NEW EQUIPMENT SOUND ISOLATION PAD, REFER TO MECH. DWGS.

GENERAL NOTES

- A.
- A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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- E.
- WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.



WHEELING, WV  
MORGANTOWN, WV  
SHEPHERDSTOWN, WV  
EIKINS, WV

53 14<sup>TH</sup> ST, S 607  
88 HIGH STREET  
122 E GERMAN STREET  
102 THIRD STREET

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PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

ELEVATIONS

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

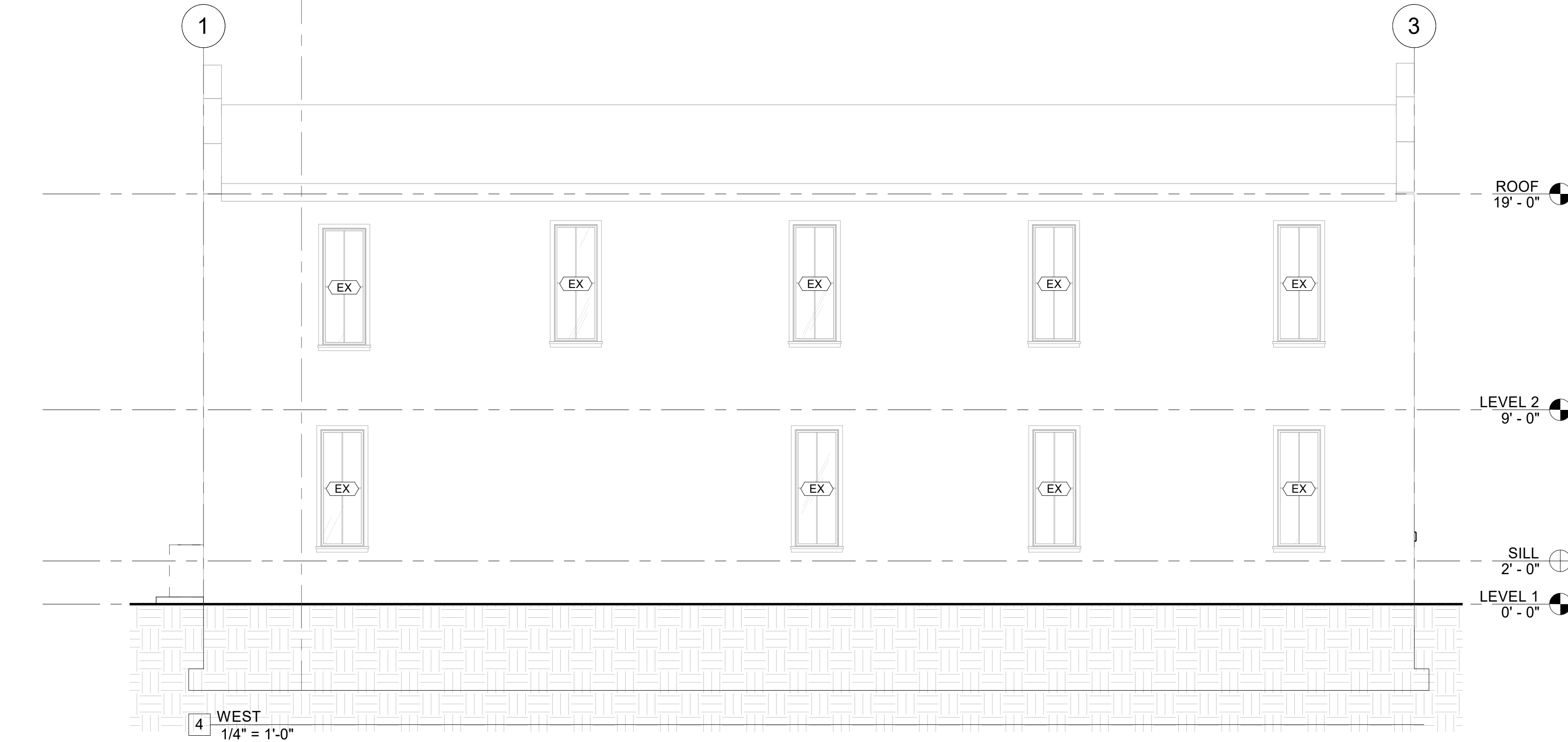
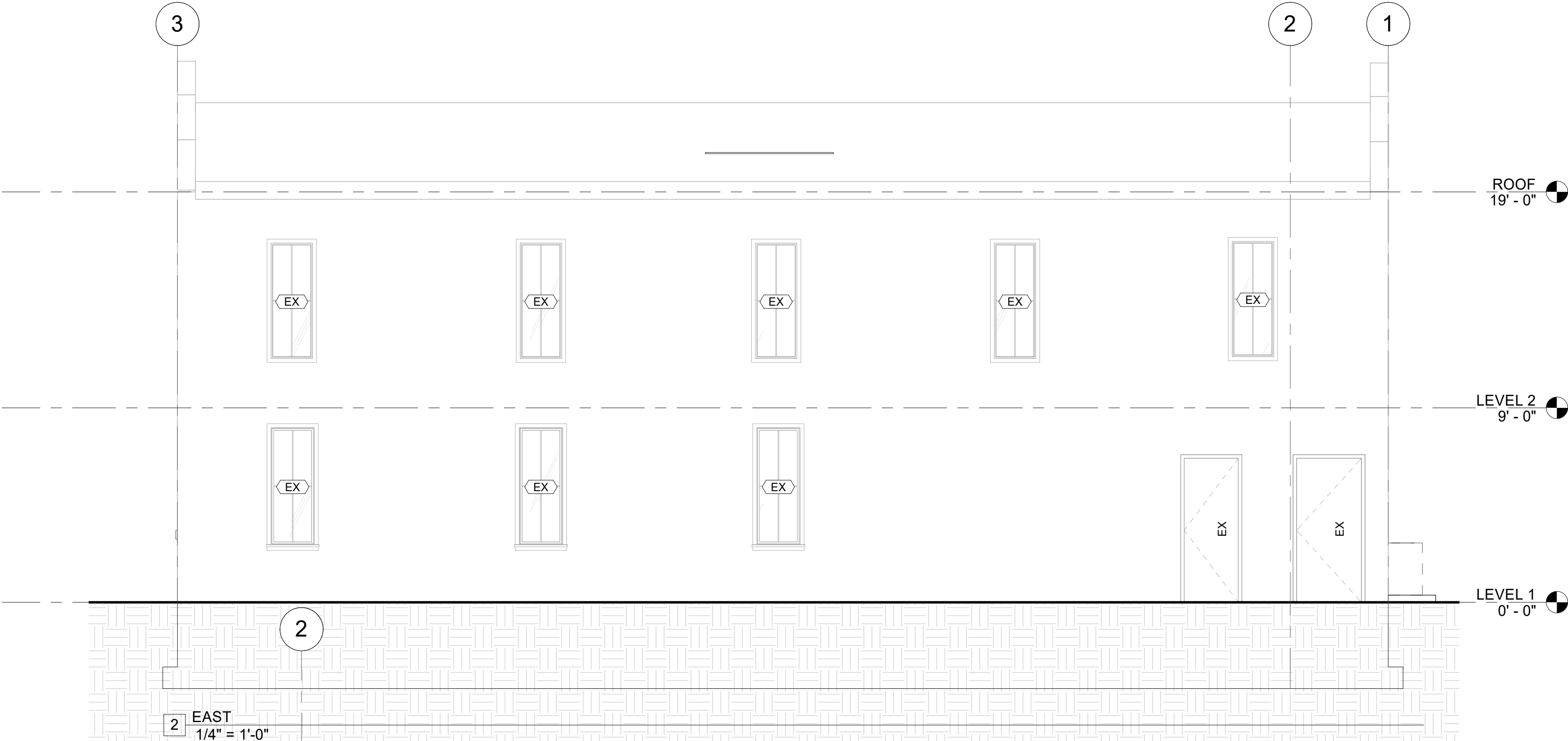
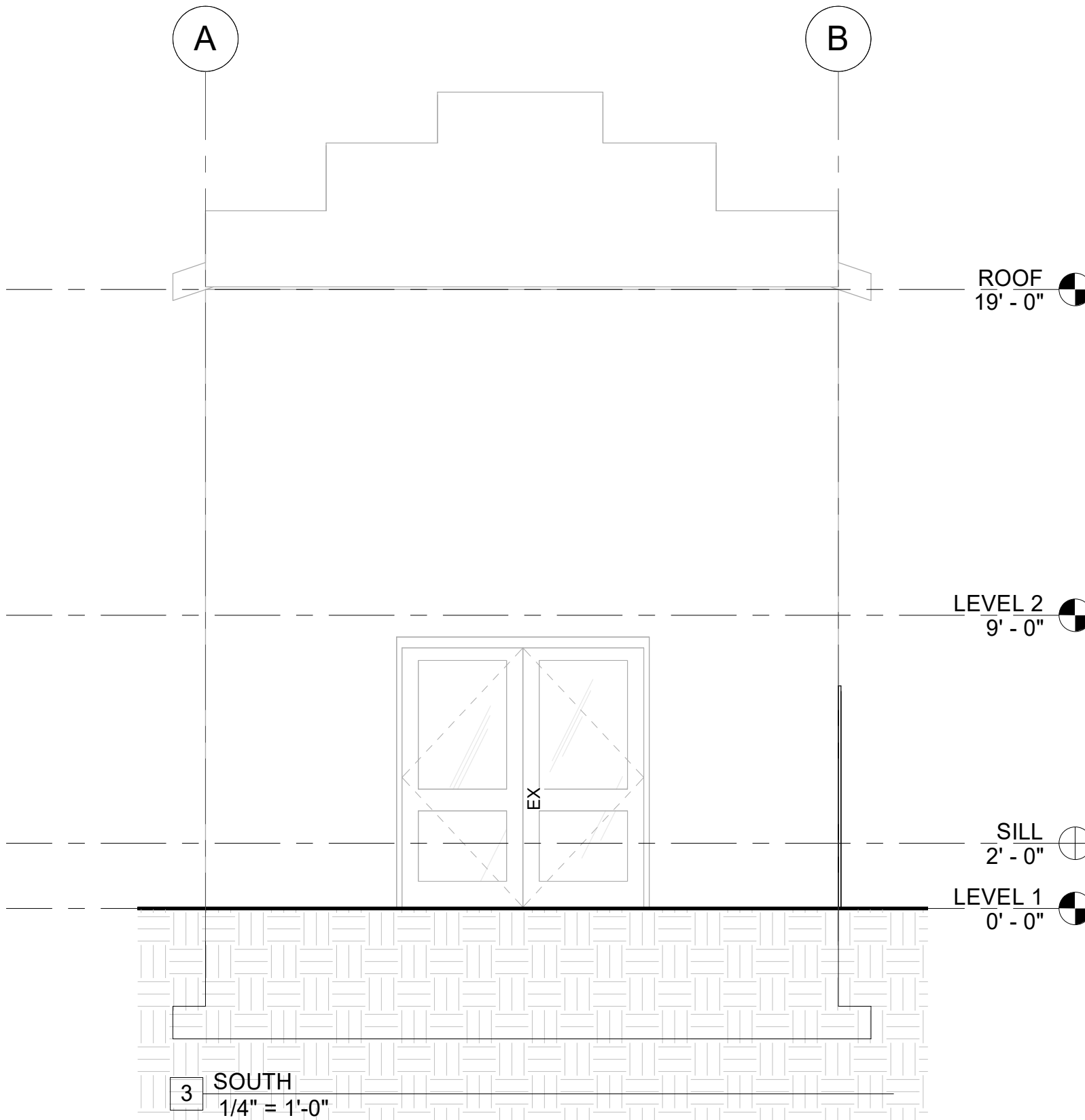
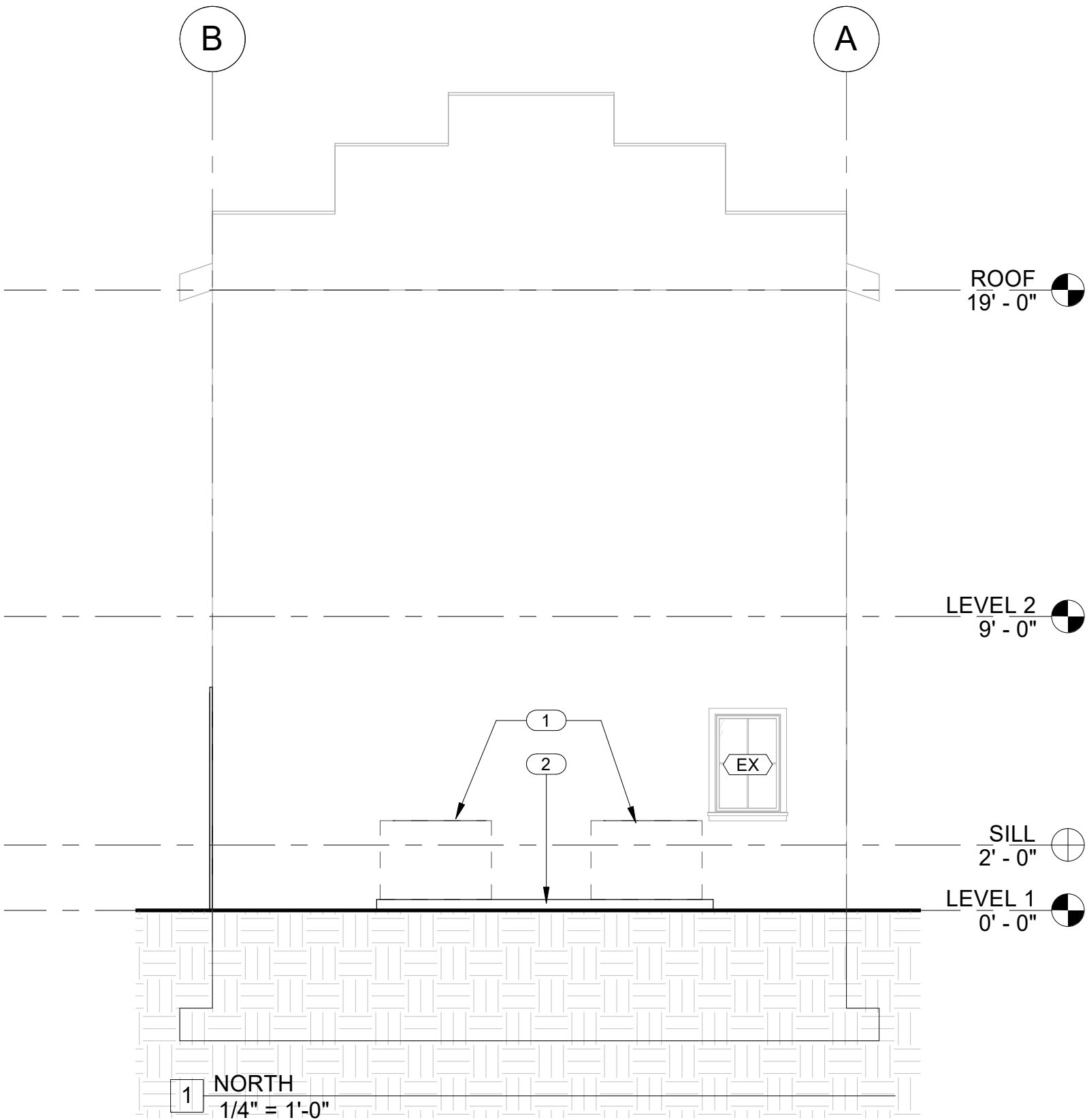
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A200

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SCALE REFERS TO 24" X 36" PAPER SIZE



GENERAL NOTES

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- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. FL-1 RATED FLOOR ASSEMBLY BETWEEN FIRST AND SECOND FLOOR RATED PARTITIONS
- 2. RECEPTION DESK
- 3. ETR BOOKCASES
- 4. ETR ELEVATED PLATFORM
- 5. MINI-SPLIT AIR HANDLER
- 6. TOILET PAPER DISPENSER
- 7. PAPER TOWEL DISPENSER
- 8. SOAP DISPENSER



WHEELING, WV 53 14<sup>TH</sup> ST, S 607  
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PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

SECTIONS

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

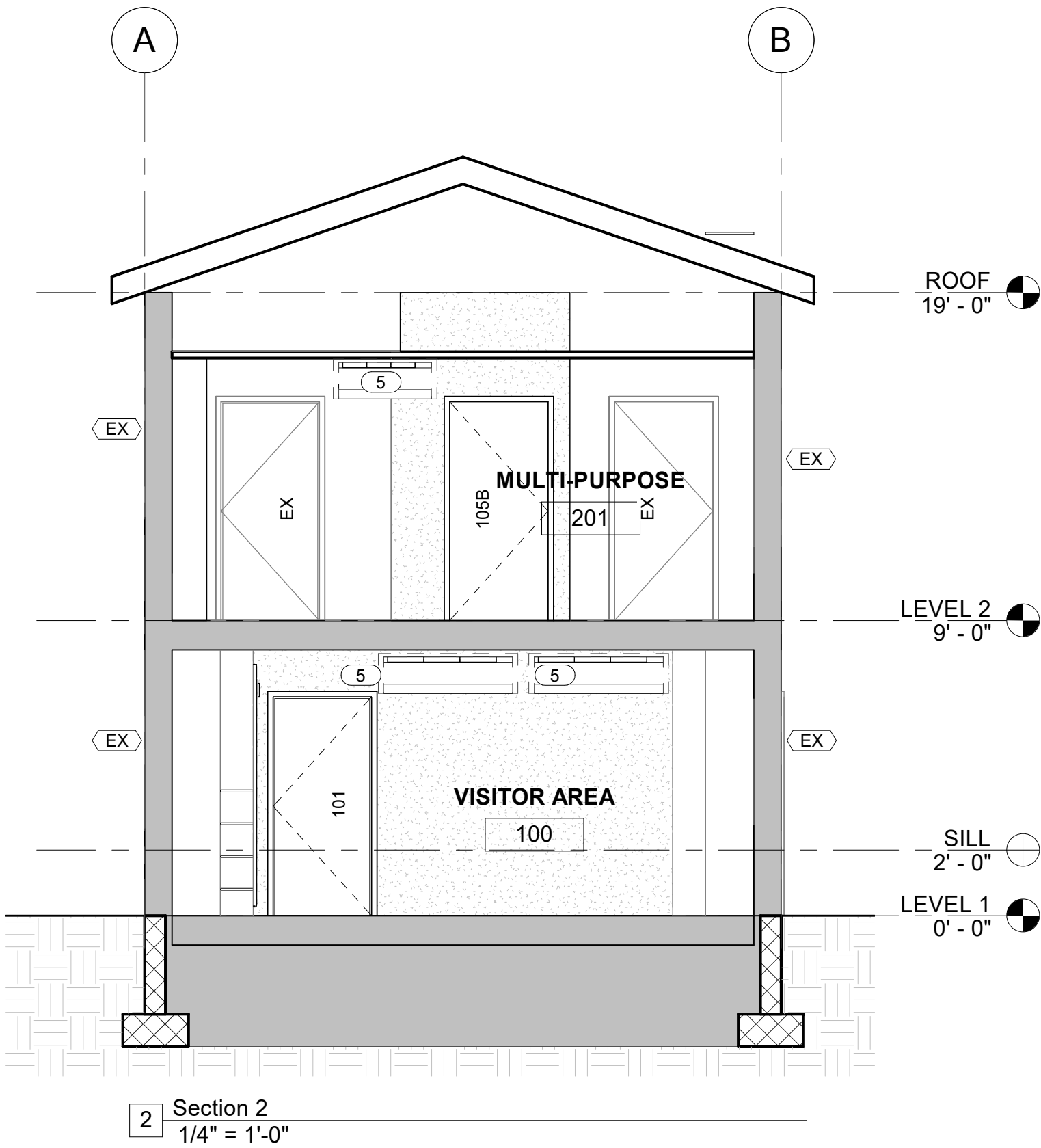
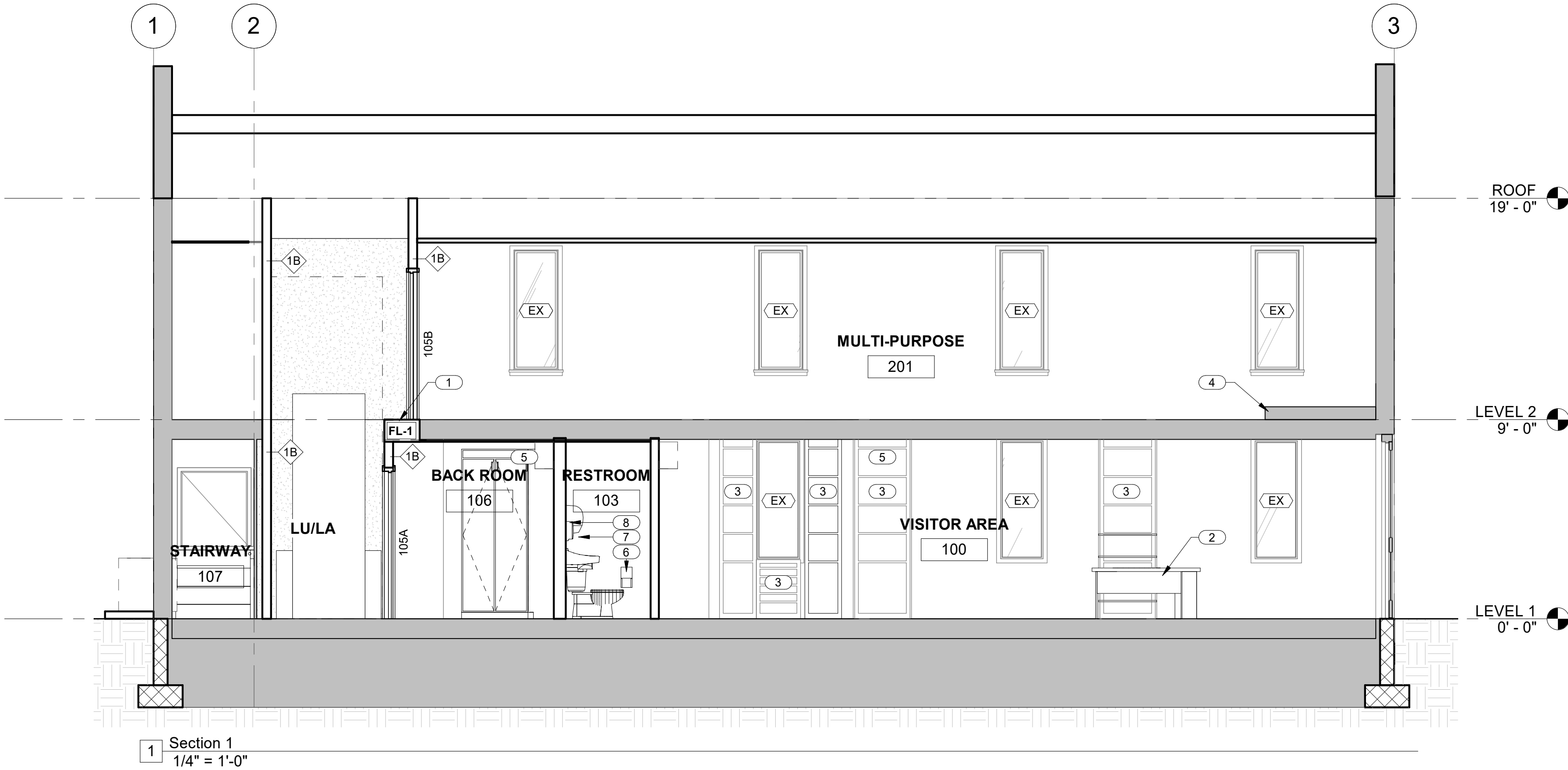
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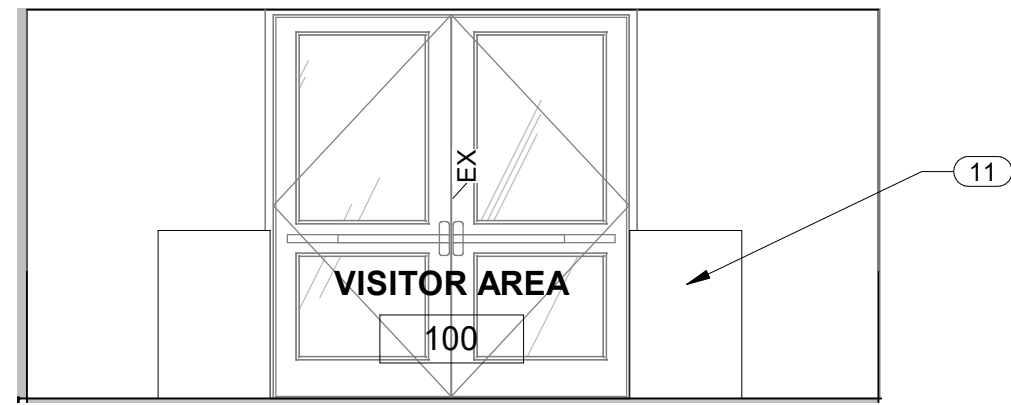
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A300

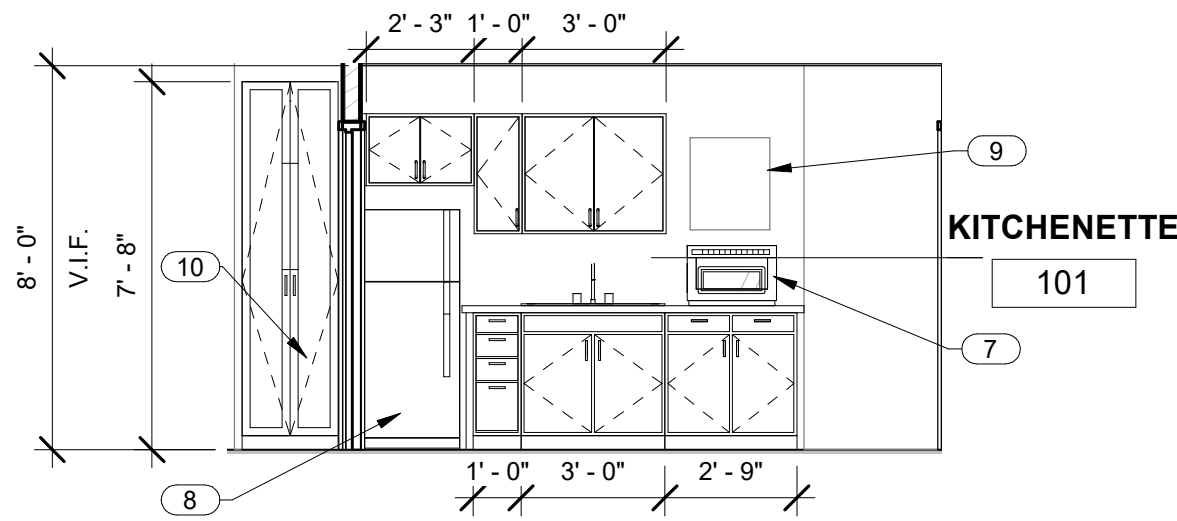
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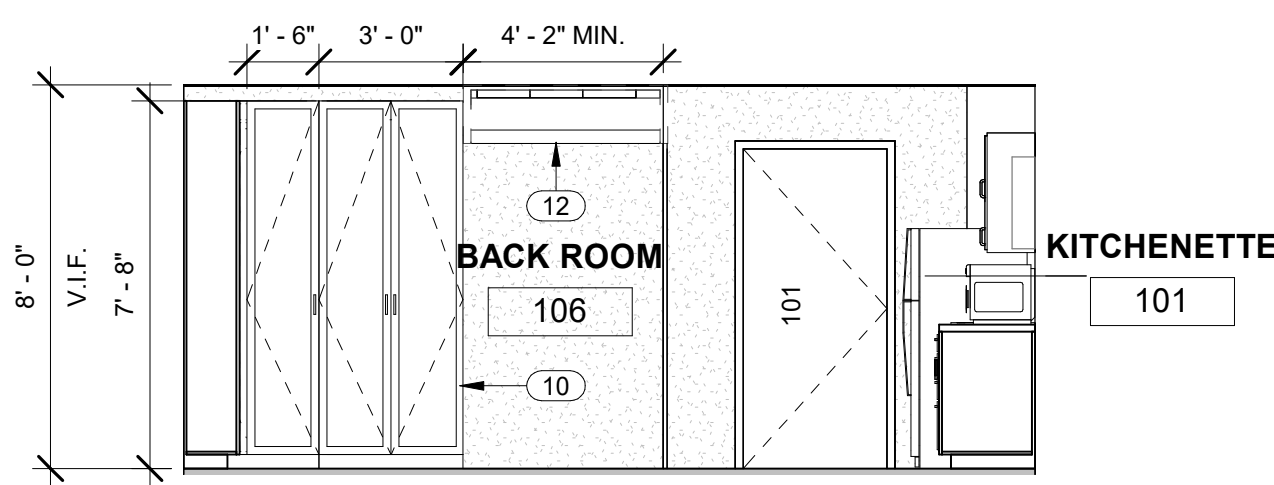




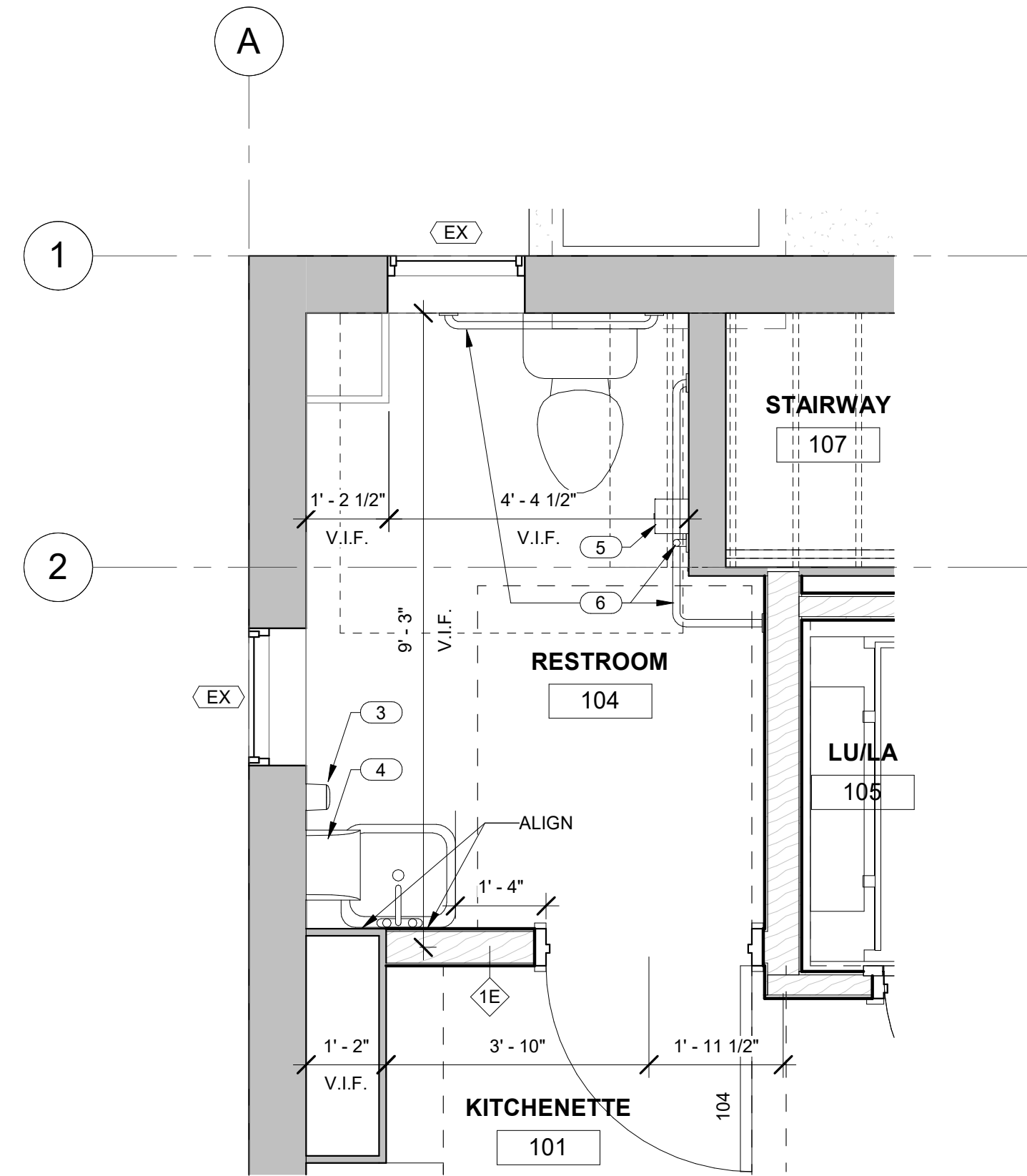
1 INTERIOR ELEVATION - VISITABLE MATERIALS  
1/4" = 1'-0"



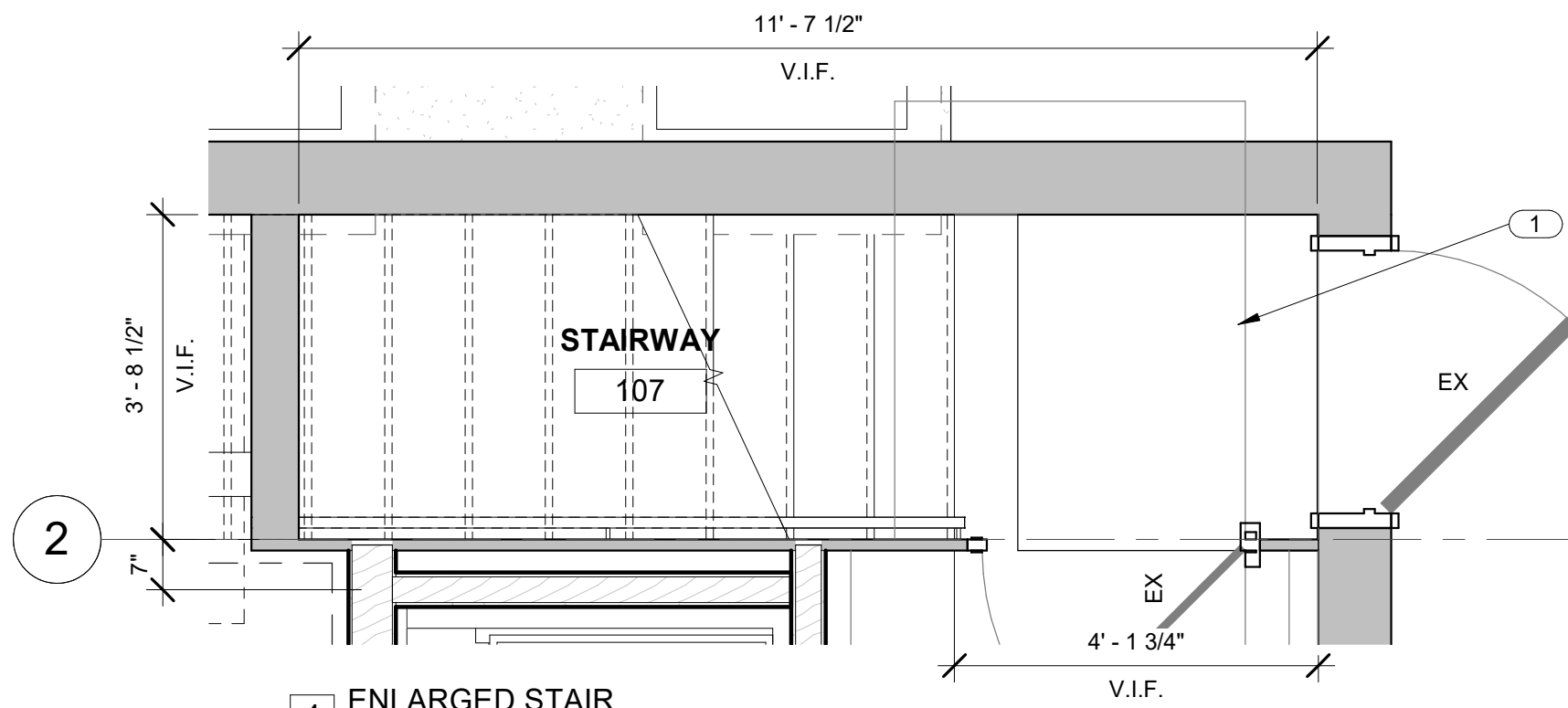
2 INTERIOR ELEVATION - PANTRY  
1/4" = 1'-0"



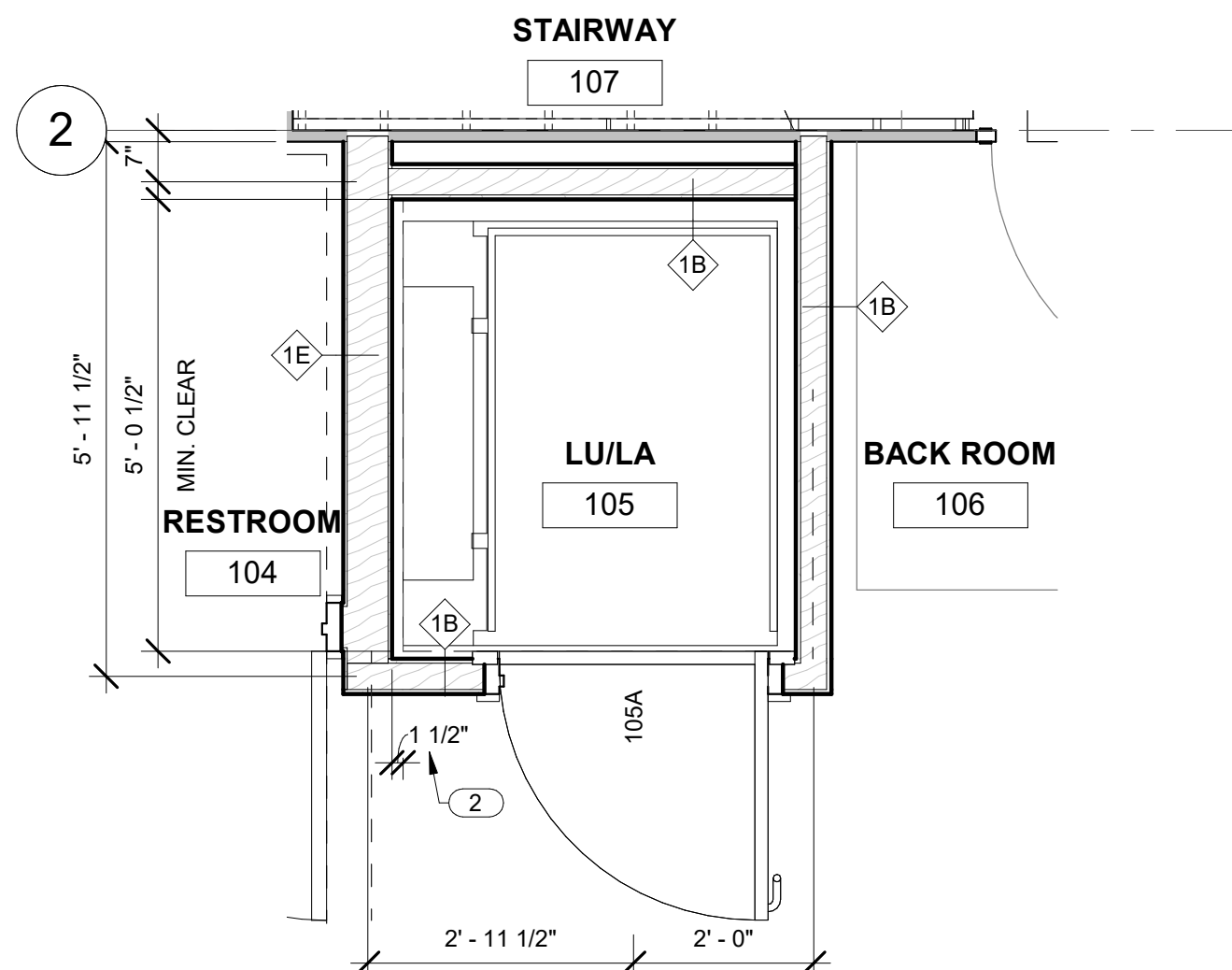
6 BACK ROOM  
1/4" = 1'-0"



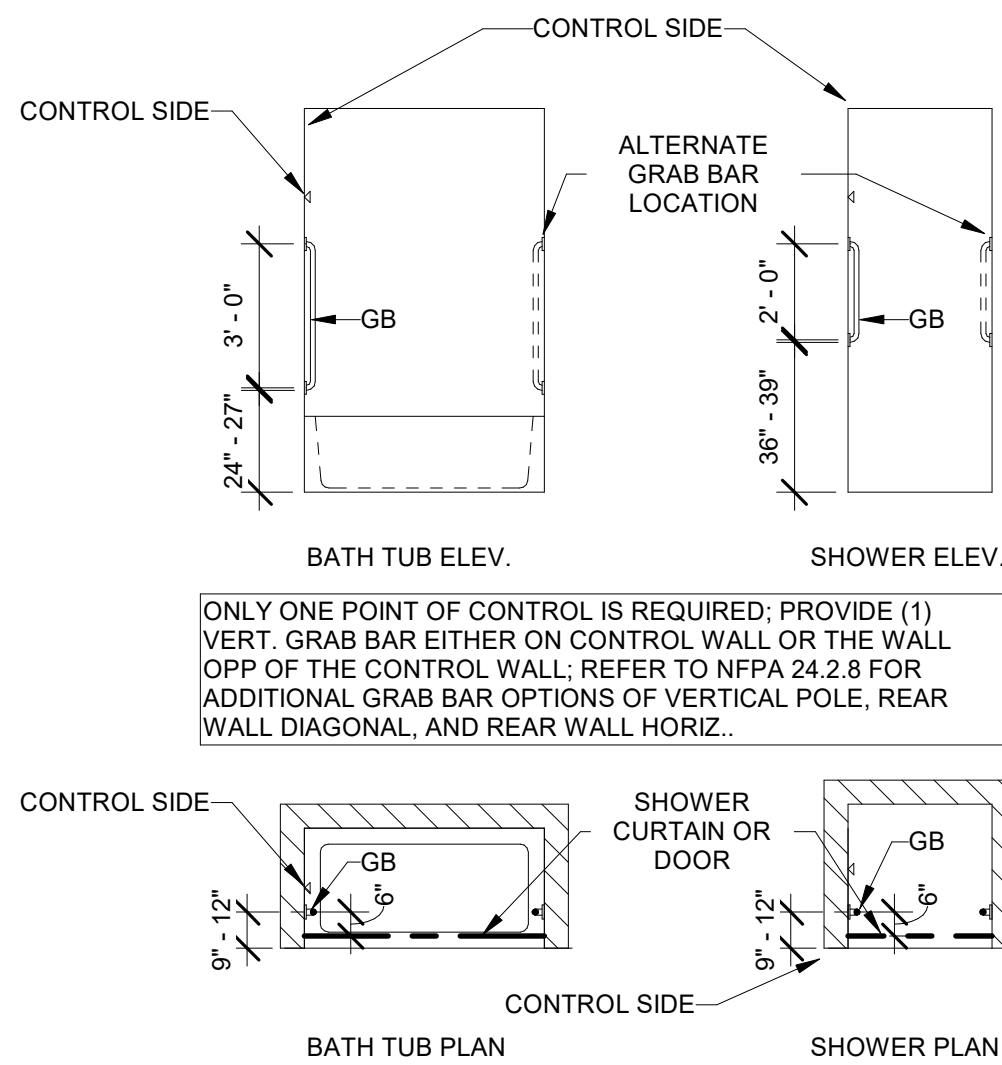
3 ENLARGED BATHROOM  
1/2" = 1'-0"



4 ENLARGED STAIR  
1/2" = 1'-0"



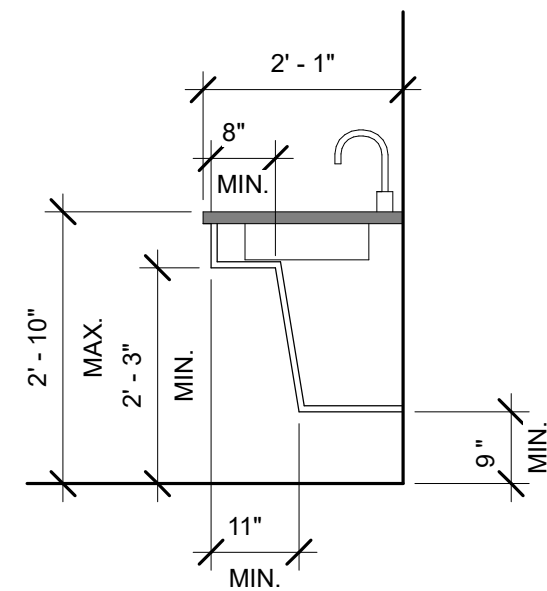
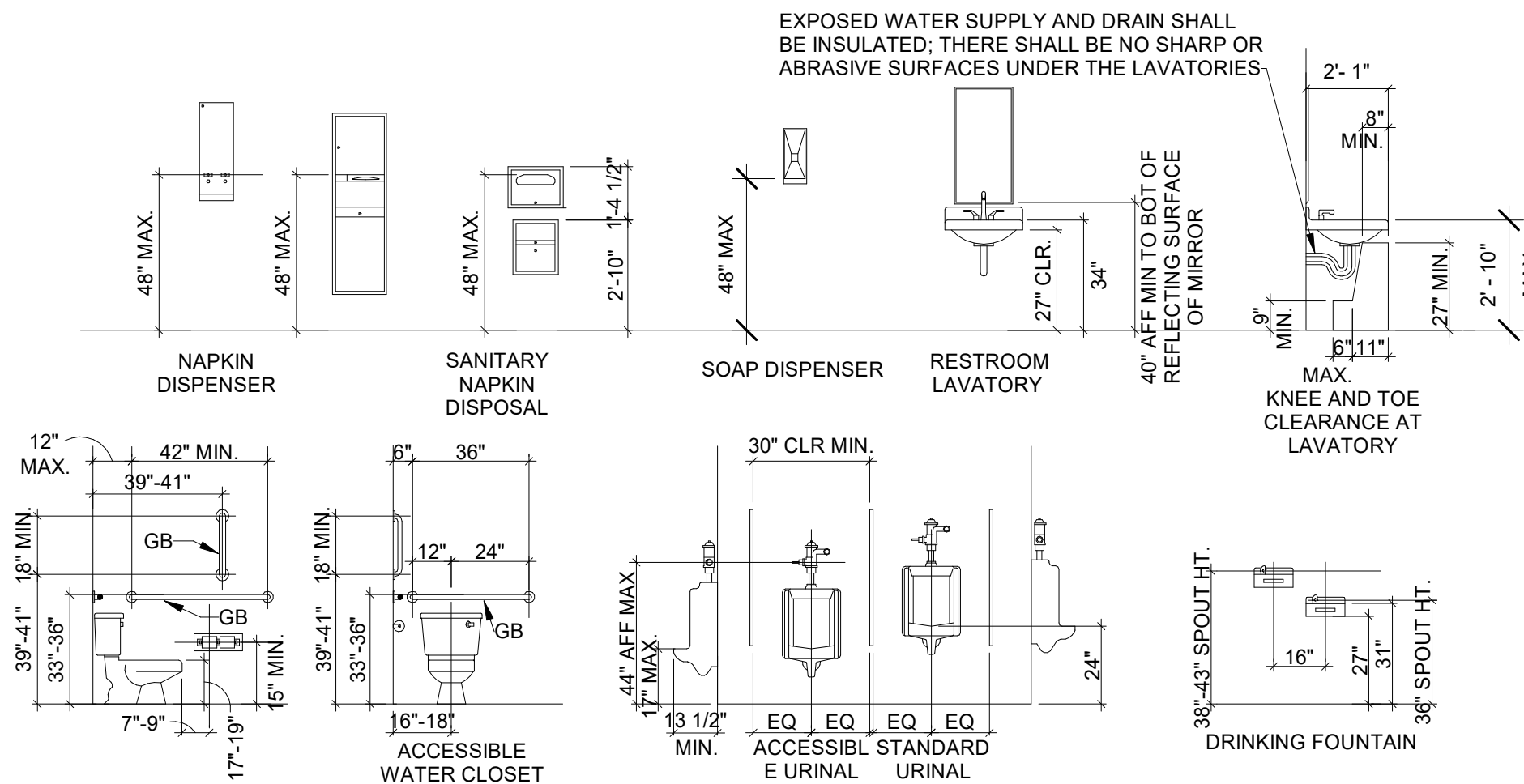
5 ENLARGED LIFT PLAN  
1/2" = 1'-0"



ONLY ONE POINT OF CONTROL IS REQUIRED; PROVIDE (1) VERT. GRAB BAR EITHER ON CONTROL WALL OR THE WALL OPP OF THE CONTROL WALL; REFER TO NFPA 24.2.8 FOR ADDITIONAL GRAB BAR OPTIONS OF VERTICAL POLE, REAR WALL DIAGONAL, AND REAR WALL HORIZ.

NFPA 24.2.8 - LIFE SAFETY GRAB BARS REQUIRED AT ALL NEW BATH TUBS, SHOWERS AND BATH / SHOWER COMBO UNITS; REFER TO CHAPTERS 12-32 FOR OCCUPANCY SPECIFIC GUIDELINES

TOILET ROOM MOUNTING HEIGHTS  
1/4" = 1'-0"



Accessible Base Cabinet Mounting Detail  
1/2" = 1'-0"

## GENERAL NOTES

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## KEYED NOTES

- EXISTING FLOOR NEEDS REPAIRED
- PROVIDE MANUF. REQUIRED CLEARANCE TO ACCOMMODATE LUL/LA MAST TIE BACK BRACKET
- WALL MOUNTED SOAP DISPENSER
- WALL MOUNTED PAPER TOWEL DISPENSER
- WALL MOUNTED TOILET PAPER DISPENSER
- GRAB BARS, REF. TO MOUNT. HT. LEGEND
- SMALL SIZE MICROWAVE, TBD BY OWNER
- SMALL SIZE REFRIGERATOR, TBD BY OWNER
- RELOCATED ELECT. PANEL
- NEW STORAGE CABINETS, DIMS WILL VARY ACCORD. TO WIDTH OF SHELVES
- DISPLAY CASES, TYP
- WALL MOUNTED MINI-SPLIT AIR HANDLER



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PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
ENLARGED PLANS & ELEVATIONS

### Revision Schedule

No.	Revision Description	Date
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### INTENDED DRAWING USE:

### SCHEMATIC DESIGN

Project number	23-061
Date	08-28-2023
Drawn by	Author
Checked by	Checker

A400

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE

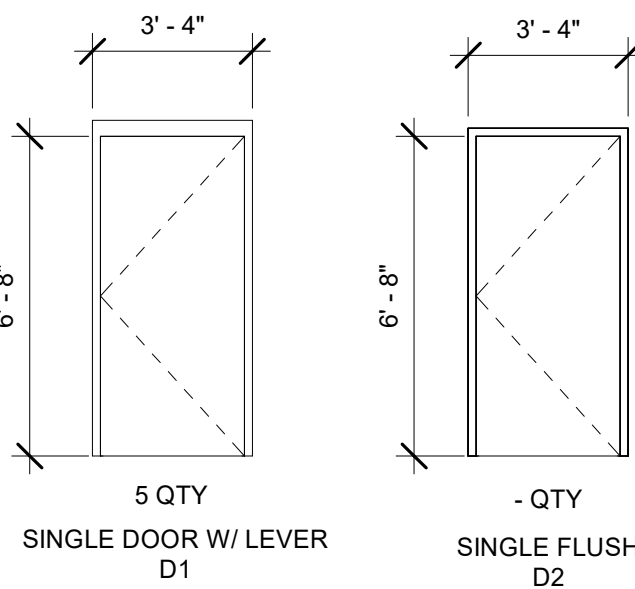
DOOR & FRAME SCHEDULE													
Number	From Room: Name	Width	Height	Door Type	Door Material	Door Finish	Frame Type	Frame Material	Frame Finish	Hardware Set	Fire Rating	Access Control	Comments

Existing													
LEVEL 1													
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	BACK ROOM	2' - 6"	6' - 8"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	VISITOR AREA	7' - 5"	8' - 0"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	STAIRWAY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	

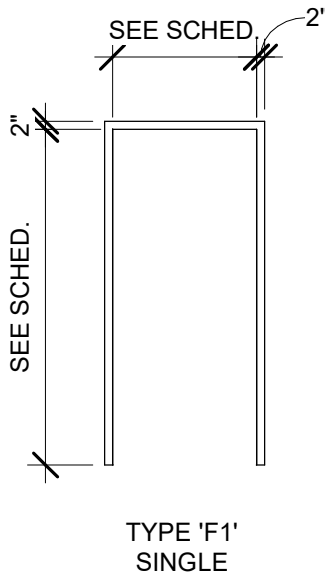
LEVEL 2													
EX	UPPER LOBBY	3' - 0"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	MULTI-PURPOSE	3' - 0"	6' - 8"	N/A	EX (WD)	PT	N/A	EX. (WD)	PT			N/A	
EX	UPPER LOBBY	2' - 6"	6' - 8"	N/A	EX. (WD)	PT	N/A	EX. (WD)	PT			N/A	

New Construction													
LEVEL 1													
101	VISITOR AREA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
103	KITCHENETTE	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
104	RESTROOM	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT			N/A	
105A	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	

LEVEL 2													
105B	LU/LA	3' - 0"	6' - 8"	D1	WD	PT	F1	WD	PT		1 HR	N/A	



DOOR TYPES  
1/4" = 1'-0"



DOOR FRAME TYPES  
1/4" = 1'-0"

- DOOR & FRAME ABBREVIATIONS
- HM HOLLOW METAL
  - IHM INSULATED HOLLOW METAL
  - WD WOOD
  - PT PAINT
  - ST STAIN
  - ALU ALUMINUM
  - ANO ANODIZED
  - PVDF FLOUROPOLYMER

FINISH SCHEDULE										
Level	Name	Number	Floor Finish	Base Finish	North Wall	East Wall	South Wall	West Wall	Ceiling Finish	Comments

LEVEL 1	RESTROOM	104								
LEVEL 1	STAIRWAY	107								
LEVEL 1	RESTROOM	103								
LEVEL 1	KITCHENETTE	101								
LEVEL 2	MULTI-PURPOSE	201								
LEVEL 2	STORAGE	202								
LEVEL 2	UPPER LOBBY	200								
LEVEL 1	VISITOR AREA	100								
LEVEL 1	LU/LA	105								
LEVEL 1	BACK ROOM	106								
Not Placed	STORAGE	102								

ITEM	TYPE	MANUFACTURER	NUMBER	DESCRIPTION
TILE				
TL-1	???	???	???	???
TL-2	???	???	???	???
TL-3	???	???	???	???
TL-4	???	???	???	???
TL-5	???	???	???	???
TL-6	???	???	???	???
CARPET				
CP-1	???	???	???	???
WOOD				
WD-1	???	???	???	???
VINYL COMPOSITION TILE				
VCT	???	???	???	???
PAINT				
PT-1	???	???	???	???
PT-2	???	???	???	???
PT-3	???	???	???	???
PT-4	???	???	???	???
STONE				
ST-1	???	???	???	???
BASE				
B-1	???	???	???	???

INTERIOR FINISH LEGEND  
1/2" = 1'-0"



WHEELING, WV 53 14<sup>TH</sup> ST, S 607  
MORGANTOWN, WV 88 HIGH STREET  
SHEPHERDSTOWN, WV 122 E GERMAN STREET  
EIKINS, WV 102 THIRD STREET

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PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
DOOR AND FINISH SCHEDULE

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

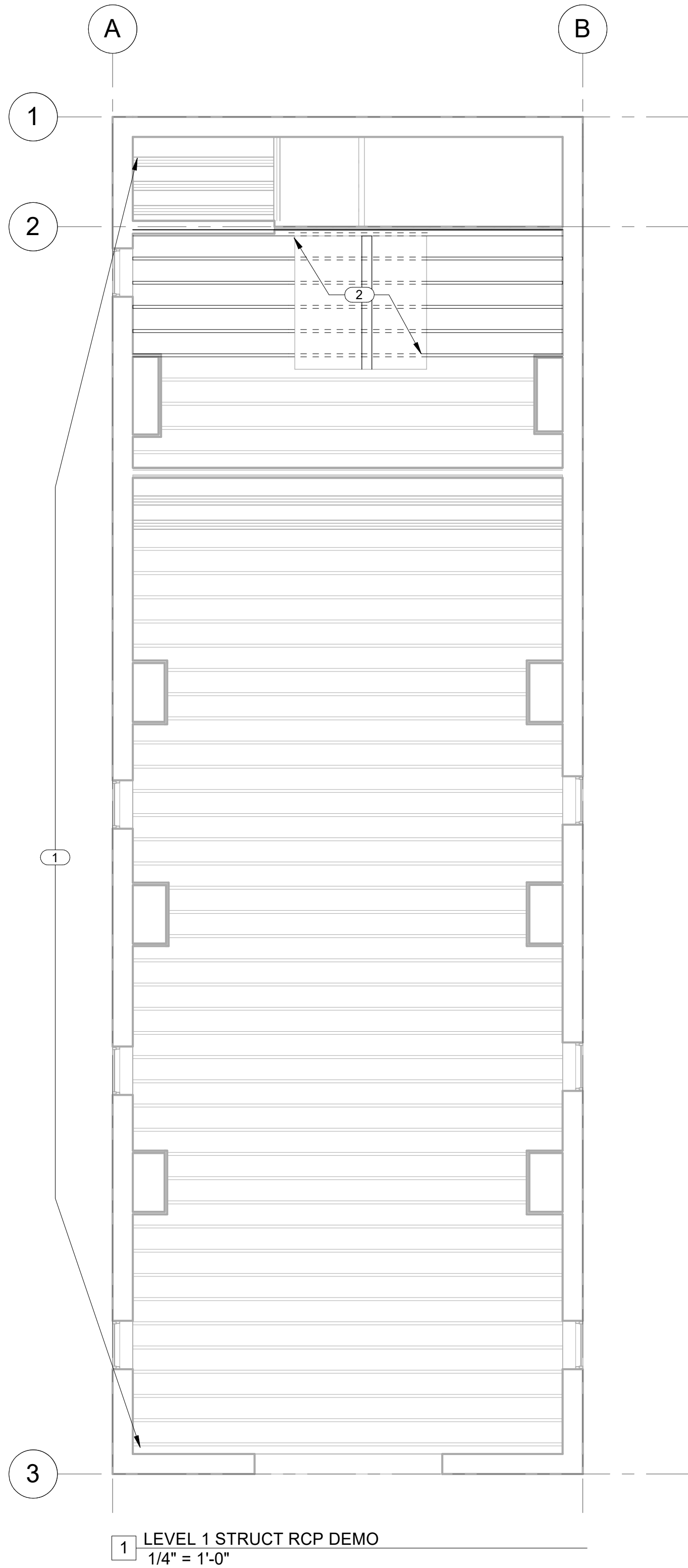
Drawn by Author

Checked by Checker

A600

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE



GENERAL NOTES

- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C. ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D. REMOVE EXISTING CEILINGS AND LIGHT FIXTURES TO EXPOSE FLOOR JOISTS, UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. DEMO EXISTING CEILING AND LIGHT FIXTURES TO EXPOSE STRUCT. FLOOR JOISTS
- 2. SELECTIVE DEMO EXISTING FLOOR JOISTS AND PREP TO REFRAME A SHAFT OPENING SIZED TO ACCOMMODATE LULA AS SPECIFIED.

DEMO LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- DOOR TO BE DEMOLISHED



WHEELING, WV 53 14<sup>TH</sup> ST, S 607  
MORGANTOWN, WV 88 HIGH STREET  
SHEPHERDSTOWN, WV 122 E GERMAN STREET  
EIKINS, WV 102 THIRD STREET

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NOT FOR  
CONSTRUCTION

PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

STRUCTURAL DEMOLITION

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
SCHEMATIC DESIGN		
Project number	23-061	
Date	08-28-2023	
Drawn by	Author	
Checked by	Checker	
SD100		
Scale	As indicated	
SCALE REFERS TO 24" X 36" PAPER SIZE		

GENERAL NOTES

- A.

A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
- B.

REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED DEMOLITION WORK.
- C.

ALL STRUCTURAL COLUMNS AND STAIRS TO REMAIN.
- D.

EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E.

WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

1.

EXISTING FLOOR JOISTS TO BE SISTERED W/ 2X12'S EA. SIDE, TYP. CONTRACTOR TO CONSULT STRUCT. ENGINEER FOR CONNECTION REQ'MNTS.
2.

OPTION TO REMOVE EXISTING FLOORING AND RE-LEVEL FLOOR W/ SISTERED 2X12'S EACH SIDE TO EX. FLOOR JOISTS PRIOR TO REPLACING EX. FLOOR

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CONSTRUCTION

PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

STRUCTURAL NEW WORK

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number23-061

Date08-28-2023

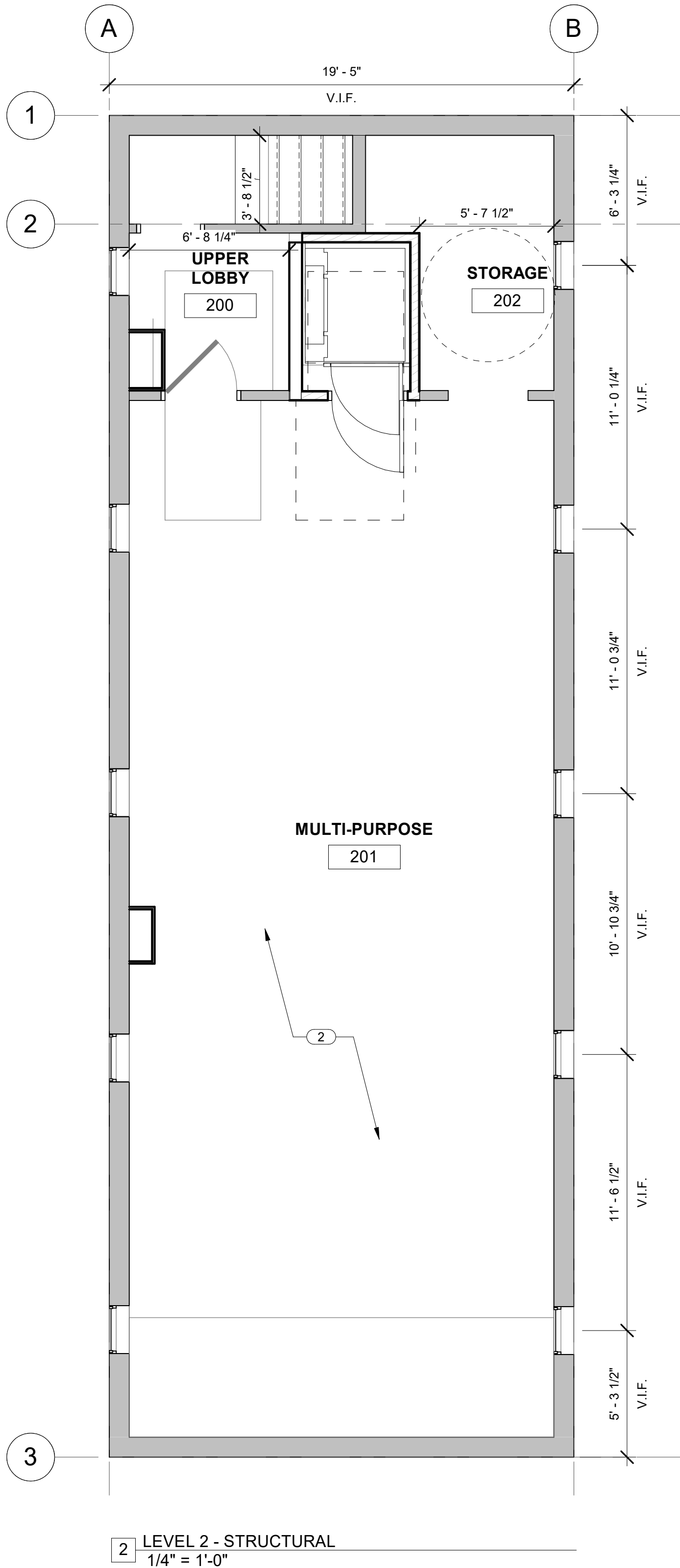
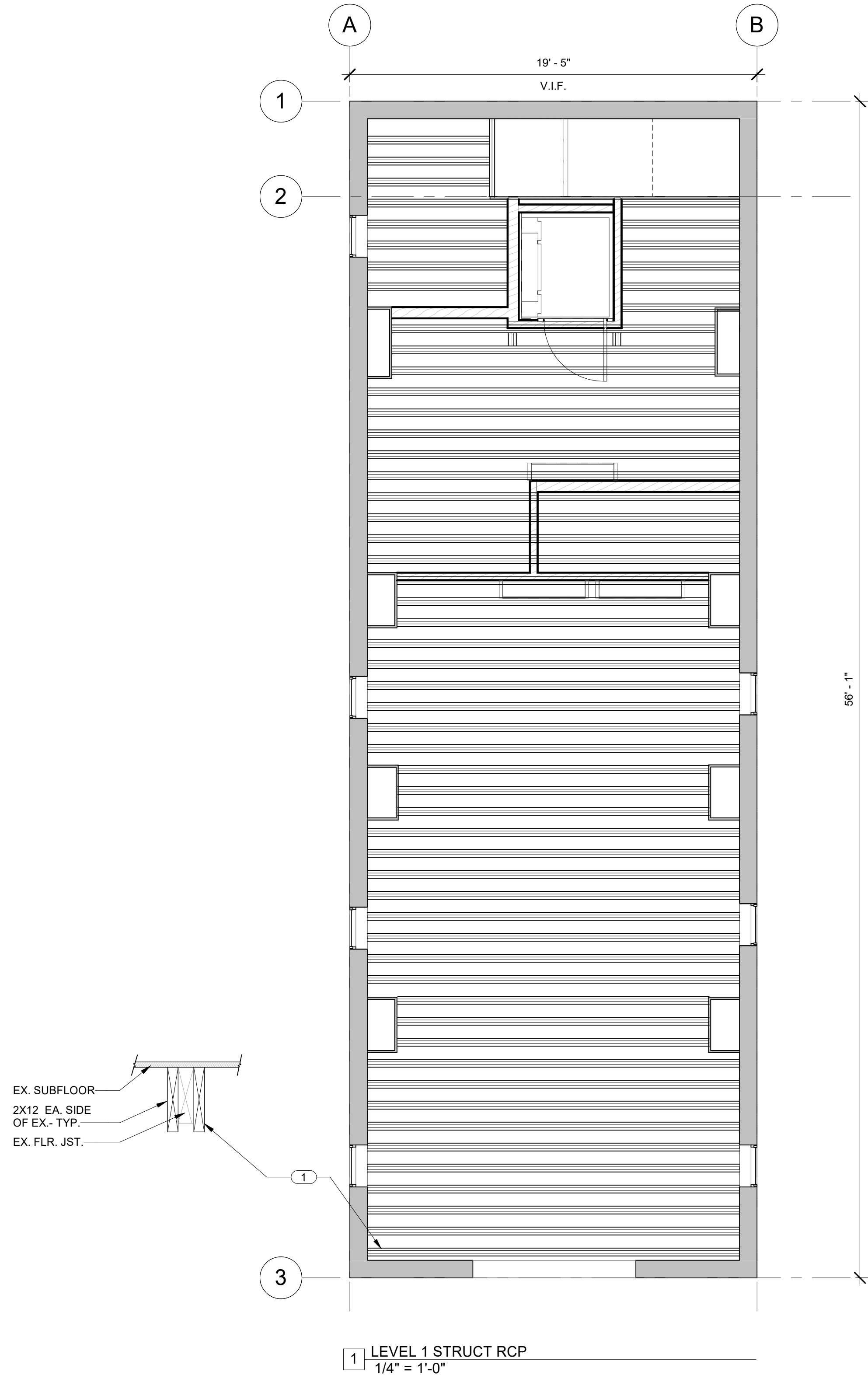
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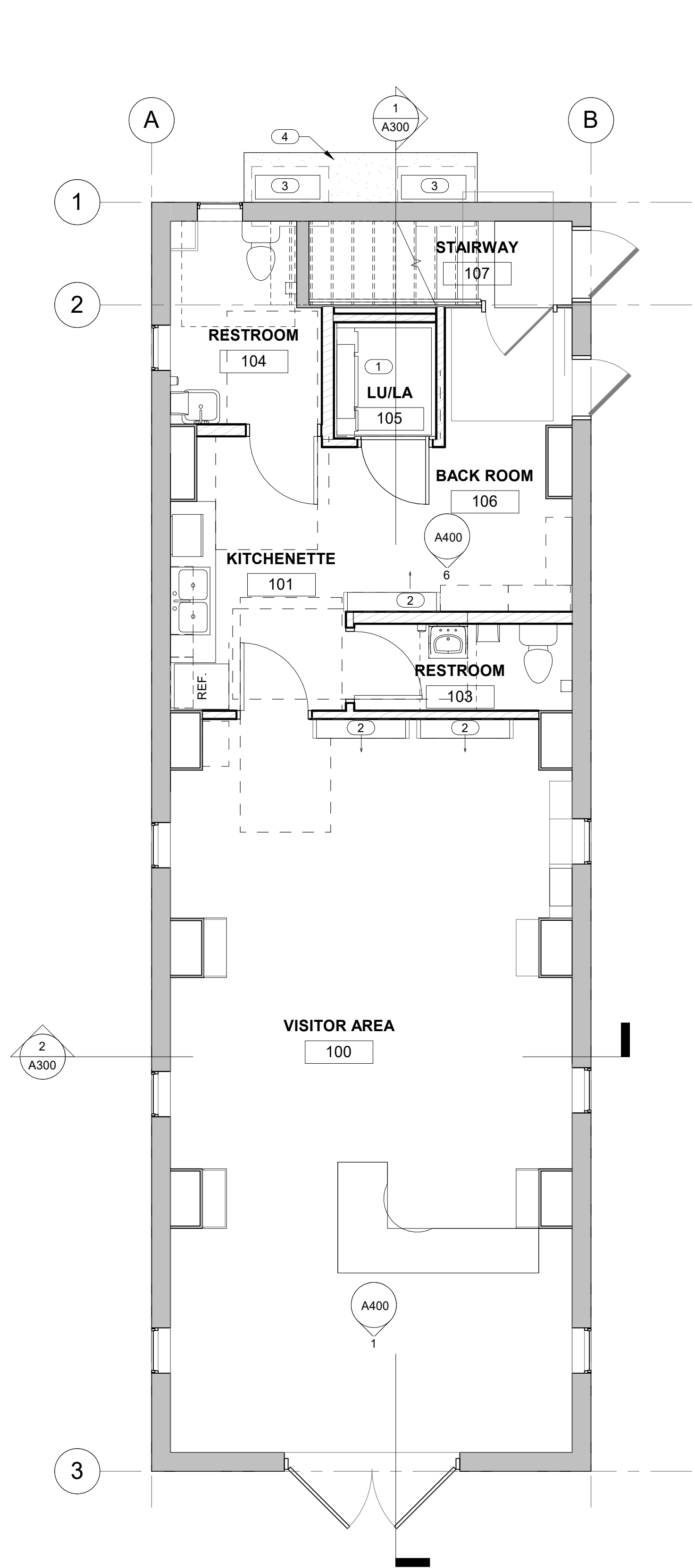
Checked byChecker

S100

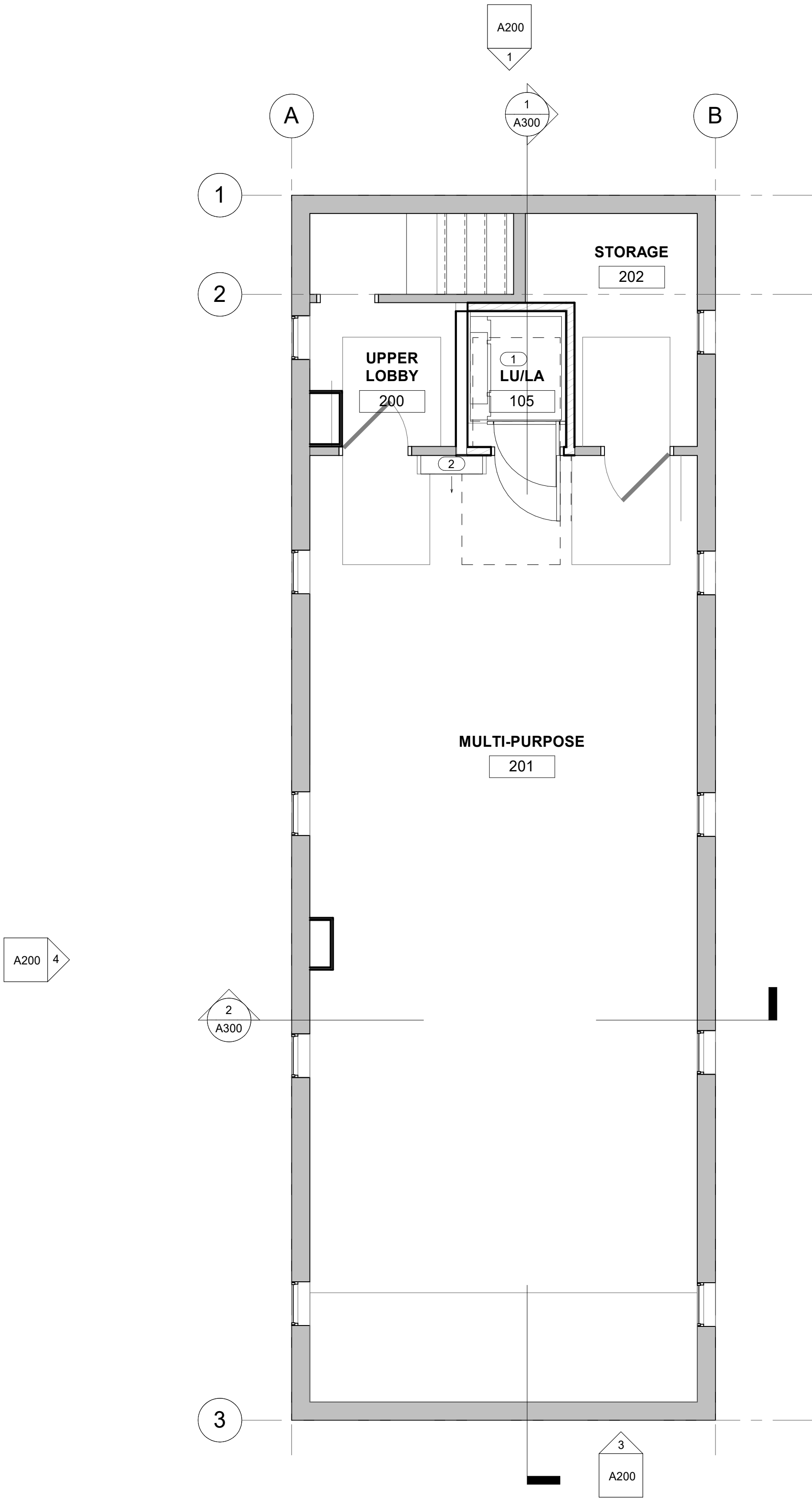
ScaleAs indicated

SCALE REFERS TO 24" X 36" PAPER SIZE





1 LEVEL 1 - MEP NEW WORK  
1/4" = 1'-0"



2 LEVEL 2 -MEP NEW WORK  
1/4" = 1'-0"

GENERAL NOTES

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- D. EXISTING FIRST FLOOR CEILINGS AND LIGHT FIXTURES TO BE REMOVED TO ACCESS EX. FLOOR JOISTS. SECOND FLOOR CEILING AND LIGHT FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.
- E. WHERE WALLS, CEILINGS AND MEP ARE REMOVED, PATCH, REPAIR AND MATCH ETR AND NEW WALLS AND CEILINGS.

KEYED NOTES

- 1. INSTALL NEW FLOOR MOUNTED GARAVENTA-GENESIS SHAFTWAY SW-360 LU/LA/LIFT FOR HANDICAP ACCESS TO SECOND FLOOR
- 2. DAIKIN MINI SPLIT AIR HANDLER MODEL FTX36NVJU
- 3. DAIKIN MINI SPLIT HEAT PUMP MODEL RX36NMVJUA(3 TON)
- 4. SOUND ABSORBING PAD W/ 6" SNOW LEGS, COORD. W/ MANUFACTURERS REQ'MNTS.



WHEELING, WV 53 14TH ST, S 607  
MORGANTOWN, WV 88 HIGH STREET  
SHEPHERDSTOWN, WV 122 E GERMAN STREET  
EIKINS, WV 102 THIRD STREET

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CONSTRUCTION

PROJECT:  
MARKET HOUSE

100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443

SHEPHERDSTOWN

MECHANICAL NEW WORK

Revision Schedule

No.	Revision Description	Date
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INTENDED DRAWING USE:

SCHEMATIC DESIGN

Project number 23-061

Date 08-28-2023

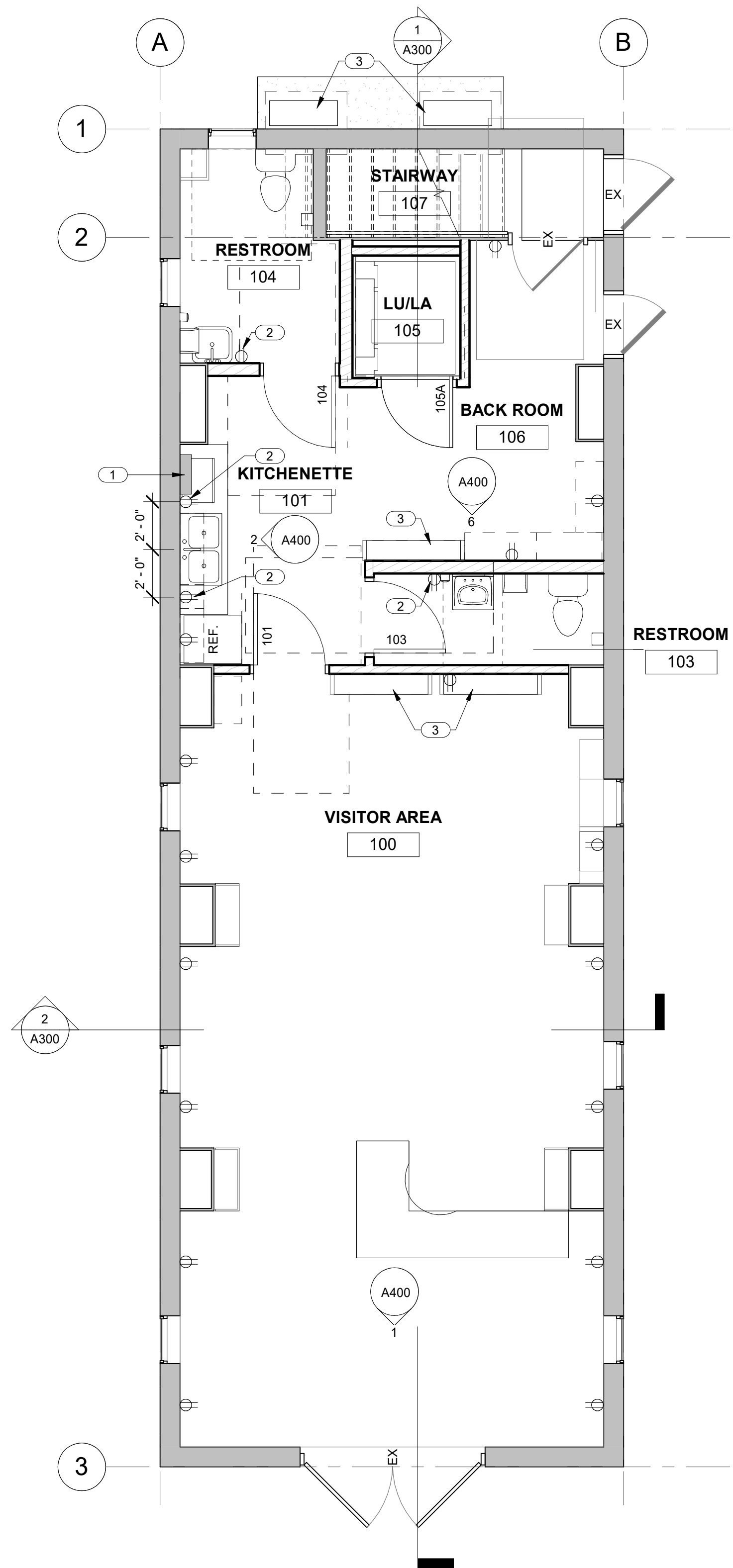
Drawn by Author

Checked by Checker

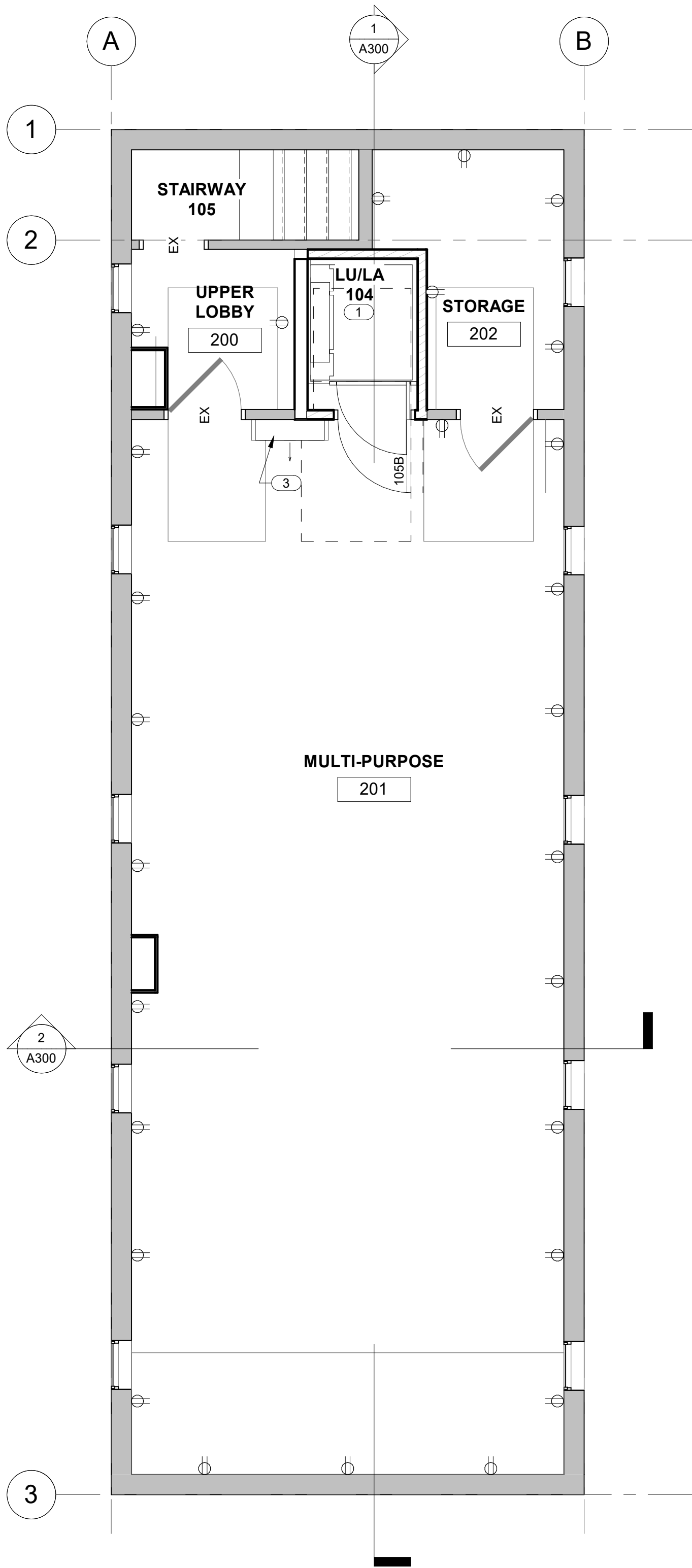
M001

Scale As indicated

SCALE REFERS TO 24" X 36" PAPER SIZE



1 LEVEL 1 - ELECTRICAL NEW WORK  
1/4" = 1'-0"



2 LEVEL 2 - ELECTRICAL NEW WORK  
1/4" = 1'-0"

GENERAL NOTES

1. ALL EXISTING ELECTRICAL CIRCUITS TO BE UPGRADED TO MEET PREVAILING CURRENT ELECTRICAL CODES.
2. FINAL LOCATIONS OF OUTLETS TO BE DETERMINED BY OWNER/TENANT.

KEYED NOTES

1. RELOCATED C/T PANEL.
2. ABOVE COUNTER GFCI OUTLET, CENTERED 44" AFF.
3. COORD. ELECT. REQ'MNTS. W/ MANUF/MECHANICAL FOR NEW MINI-SPLIT SYSTEM.



WHEELING, WV 53 14TH ST, S 607  
MORGANTOWN, WV 88 HIGH STREET  
SHEPHERDSTOWN, WV 122 E GERMAN STREET  
EIKINS, WV 102 THIRD STREET

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PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:  
MARKET HOUSE  
100 EAST GERMAN ST.  
SHEPHERDSTOWN, WV 25443  
SHEPHERDSTOWN  
ELECTRICAL NEW WORK

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
SCHEMATIC DESIGN		
Project number		23-061
Date		08-28-2023
Drawn by		Author
Checked by		Checker
E100		
Scale		As indicated
SCALE REFERS TO 24" X 36" PAPER SIZE		



- A. A SITE VISIT SHALL BE MADE PRIOR TO THE START OF DEMOLITION ACTIVITIES TO REVIEW EXISTING CONDITIONS AND INVENTORY ITEMS THAT ARE TO REMAIN OR BE RELOCATED TO DESIGNATED STORAGE.
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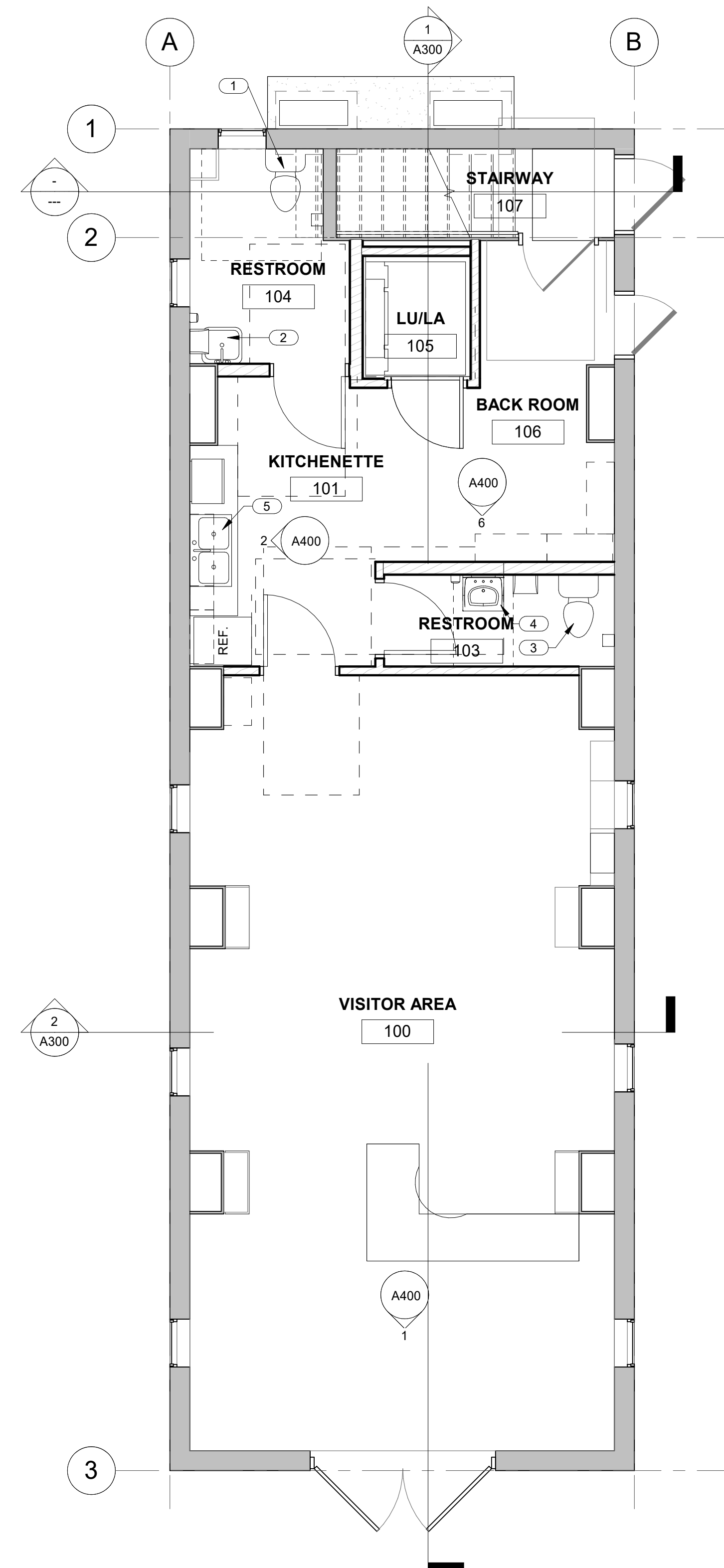


1. INSTALL NEW ADA TOILET
2. INSTALL ADA SINK
3. INSTALL NEW TOILET
4. INSTALL NEW SINK
5. INSTALL NEW KITCHENETTE SINK, SELECTION  
TBD BY OWNER

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT:	MARKET HOUSE
100 EAST GERMAN ST. SHEPHERDSTOWN, WV 25443	
SHEPHERDSTOWN	
PLUMBING NEW WORK	

Revision Schedule		
No.	Revision Description	Date
INTENDED DRAWING USE:		
SCHEMATIC DESIGN		
Project number	23-061	
Date	08-28-2023	
Drawn by	Author	
Checked by	Checker	
P002		
Scale		As indicated
SCALE REFERS TO 24" X 36" PAPER SIZE		



1 LEVEL 1 PLUMBING NEW WORK  
1/4" = 1'-0"

**DRAFT**

**PARKING COMMITTEE MINUTES**

**August 16, 2023**

**2:30 PM**

Members Present: J. Auxer, GT Schramm, Lori Robertson., Steve Alemar, Chief King

Guests Present: none

Meeting was called to order at 2:30 PM by Mayor Auxer.

- I. Chief King told the Committee that delivery trucks for restaurants etc. were not using loading zones but were unloading in the middle of the street. He recommended that the loading zone in front of the Community Club (currently partially blocked by a tree) be moved to North King Street. It would necessitate the removal of two parking places and a handicapped space which could then be relocated to the front of the Community Club. Following discussion, the committee voted unanimously to endorse the plan.

Chief King also shared that he would send letters to the delivery companies notifying them of the change, reminding them of the loading zones in town, and warning that tickets could be issued for blocking streets while unloading. Steve will be talking to merchants as well to notify them of the changes.

- II. Meeting was adjourned at 3:00 PM

Respectfully submitted,

GT Schramm

## MINUTES

Shepherdstown Parks & Recreation Committee  
August 29, 2023  
Town Hall  
6:00 pm

### 1. Call to Order:

Meeting Called to Order at 6:01 PM.

Members Present: Cheryl Roberts (Chair), Jenny Hayes, Lori Robertson, Marty Amerikaner, Nick Tully, & Effie Kallas.

Members Absent: None.

Staff: Frank.

Mayor Auxer also in attendance.

### 2. Approval of Agenda:

**MOTION** to approve the agenda made by Lori. Second by Marty. Motion carried without objections.

### 3. Approval of Minutes - July 25, 2023.

**MOTION** to approve the Minutes of July 25, 2023, by Lori. Second by Marty. Motion carried without objections. Effie abstained from this vote due to her absence from the July meeting.

### 4. Welcome Visitors: None.

### 5. Unfinished Business:

a. Bane-Harris Park - C. Roberts

i. Mulch in Playground Area - Cheryl reports that this item is pending.

ii. Pickleball Report - Cheryl reports that the tape outlining the court at Bane-Harris has buckled due to the extreme heat and was pulled up for safety. Frank, Ernie, & Billy will paint new lines. Also, the storage boxes have been received. Lori will create wording to be printed on large magnets which will be installed on the boxes at each park with directions on how to open the locks.

**MOTION**, by Marty, to direct Frank to purchase the necessary items to install the boxes and locks. Second by Jenny. Motion approved unanimously.

iii. Playground Equipment Replacement - Cheryl reports that the playground space at Bane-Harris Park was measured and the only apparatus which would fit is the smaller of the two under consideration - the Conte Community School Model 714-S601 for \$34,500.

**MOTION**, by Effie, to direct Cheryl to see that a Request for Bids is placed through the town administration and to approve the acquisition of Model 714-S601 or similar to fit the space. Second by Marty. Motion approved unanimously.

b. Cullison Park - Marty Amerikaner

Marty reports that the park looks good and that he has observed a good deal of use of the various apparatus.

i. Flexipave Update - Action to mark the additional spots has not yet occurred but will be completed soon.

c. Riverfront Park - J. Haynes

Jenny reports that the park looks good.

d. Rumsey Park - N. Tully

Tully reports that the park looks good.

e. Viola Devonshire - L. Robertson

i. Pickleball Report - Status - See Bane-Harris reference above.

f. Bookmark the Park 2023 Season Report - E. Kallas

Effie reports that the August event will be the last for the 2023 season. A formal report will be prepared and submitted later.

6. New Business:

a. Shepherdstown Rotary's Offer - Construct 2 small picnic tables and install them at Rumsey Park.

**MOTION**, by Jenny, to ask Mr. Walt to construct the picnic tables for the park. Second by Lori. Effie abstained. Motion passed.

b. Shepherdstown Rotary's Proposal for boat launching site. This is not something Park & Recreation can do. The proposal should go to Town Council.

7. Next Meeting - September 26, 2023 - 6:00 pm - TBD.

8. Adjournment

**MOTION** to adjourn made by Effie and second by Marty. Passed unanimously.

Adjourn: 6:53 pm.

Respectfully Submitted by Secretary Effie Kallas.

Approved by Cheryl Roberts, Chairperson

Shepherdstown Draft Personnel Committee Minutes

Wednesday August 16, 2023

5:00

Town Hal

1. Members Present: Lori Robertson, Leah Rampy, and Jenny Haynes.

2. Absent: Marty Amerikaner

3. Call to order by Lori Robertson, Chair at 5:00 p.m.

4. Approval of July 2023 Draft Personnel Minutes:

**J. Haynes - move to approve the July 2023 Draft Personnel Minutes.  
Second by L. Rampy. No objections noted.**

5. Visitors: Stephanie Grove, Town Administrator and Mayor Auxer

6. Public Comment: None

7. Unfinished Business:

A. Town Administrator- Update:

L. Robertson - S. Gove's probation period is over and we need to discuss it. S. Grove left the room.

**J. Haynes - move to enter into Executive Session at 5:16 p.m. per  
WC Code 6-9A-4(b)(2)(A). Second by L. Rampy. No objections noted.**

**L. Rampy - move to come out of Executive Session at 5:25 p.m. per WV Code 6-9A-4(b)(2)(A). Second by J. Haynes. No objections noted.**

**L. Rampy - move to increase the Town Administrator salary to \$120,000. Second by J. Haynes. No objections noted**

B. Terms of Service: to keep the election in Shepherdstown with a 4-year term of service, not staggered. S. Grove reminded us that the charter has to be changed to reflect this. Would like to put this item on the town council agenda for October and have Chazz come to speak to the council.

C. Training- Sexual Harassment Prevention Training: S. Grove - pending.

D. Job Descriptions: S. Grove has all of the job descriptions and has started with the town hall staff.

E. L. Robertson spoke with Chief King about Jenny's idea of a Meet the Officers. The Chief suggested that we advertise the next time the police department is doing a public greeting in front of the Market House. That seems to work better than at town hall.

8. New Business:

None

9. Adjournment: **L. Rampy - move to adjourn at 5:35 p.m. Second by L. Haynes. No objections noted.**

Draft minutes Respectfully submitted by L. Robertson

# Shepherdstown Tree Commission Draft Minutes

Thursday, August 17, 2023

6:00 p.m.

Town Hall

- **Members Present:** Lori Robertson – Chair, Jenny Haynes, and James Dillon.
  - **Absent:** Frank Welch
  - \* **Visitors:** James Gatz and Mayor Auxer
1. **Call to Order:** L. Robertson called the meeting to order at 6:02 p.m.
  2. **Approval of July 13, 2023 minutes.**  
**J. Haynes – move to approve July 13, 2023 Tree Commission minutes.**  
**Second by J. Dillon. No objections noted.**
  3. **Public Comment:** None
  4. **Visitor's comments:**  
  
J. Gatz - an Accolade Elm was hit by a truck in June, then the recent storm took out two more limbs. Please have it assessed.  
  
J. Dillon - such a beautiful tree - what a shame.  
  
**\*\* Assess first then have Bartlett to trim and limb up now if it can be saved.**



## **5. Unfinished Business:**

- a. Verbiage for Comprehensive Plan –input from Commission. Pending.
- b. Monarch Way Station –Lori still has the other milkweed in her courtyard keeping it alive with this draught. Has the signs and needs to pick up the stakes from Frank.
- c. Keep as Pending - Suggestion to have Bartlett give us a quote to clear the bowl in Rumsey Park with a brush-cutter. Then plant a large White oak (red foliage in the fall) or a Chinkopin Oak and keep the bowl clear. Put a large circle around the tree for water to pool to keep it moist.
- d. Sage Place – James suggested planting perennial evergreen plugs in 1-2 years – Eastern Star Sedge. There are 9 trees to maintain – have Bartlett do all 9 trees this spring - James to email to update. The Star Sedge update is that Lori was emailed by a resident of Sage Place requesting the wells be done. Lori noted that some of the wells had been planted with perennials. James clarify that those flowers were seeds that blew into the wells. Waiting on a response. UPDATE - no response from Sage Place contact.
- e. Thirty Seasons - The beds are have been done and look great. They will come once a month and work on them or whatever needs to be done.
- f. Tree Inventory – do we want the trimming work to be logged in? Yes.
- g. Red Maple in front of Town Hall – put a plaque “In Honor of Pete Spaulding” Lori to reach out on FB to chat with those who had worked with Pete. We need to go ahead and order it.
- h. Lost Dog tree - First Energy will cut the two trees down on a Monday in the near future. They will give us a weeks notice. We are still waiting on when they will take these trees down.
- i. Deb Tucker - 300 W. High St. - Lori mailed Deb with these choices per James for under the wires - Serviceberry, Adirondack Crabapple, or an Okame Cherry. However, she prefers a Kousa Dogwood and James confirmed that will work fine. Can use a VOUCHER for this.

j. Harvey Heyser – 203 E, High St. – a new tree we planted – he would like it removed - He is fine with us doing it in the fall. Keep on agenda for fall relocation and replanting of a Sugar Maple to the right of his house. Can use a VOUCHER for this.

k. Dead tree at the corner of Mill and German - Frank- Bartlett to do but will need flaggers. UPDATE - DONE

l. Dead tree by Seagal home - tree tag is 135. Corner of German and Duke - German St side. Need to reconfirm quote with Bartlett - UPDATE - DONE

m. Rain barrel broken drain pipe at the Train Station - Update - Frank - it's fixable and Public Works will do it. DONE

n. Sue Lemnitzer - tags 67, 68, 69 & 70 - Back Alley behind her house - English Ivy and poison ivy drowning on them. - James looked at the photos Lori took and we can cut them ourselves. UPDATE - will do.

o. Tree to the left of the Shepherdstown Museum closer to the alley - cable? Lori spoke to Derek with Bartlett and he recommends they trim it until it's feasible to remove the problem limb. On Bartletts schedule - UPDATE - DONE

p. Japanese Silk Lilacs on New St - in front of Jenny Allen's home - 206 W. New. - On Bartletts schedule. DONE

q. W. High St across from Karen Moivan's home - an area between the sidewalk and street large stones were placed there - can we plant a ground cover to cover them. James - St. John's Wort will work great there. James will get the plants ordered and they will go in in the fall. UPDATE

r. Mayor Auxer's home. 108 E. New St. - tree needs to be trimmed - On Bartlett's schedule. Update - DONE

s. Frank needs clarification on a quote referencing tags 174 & 175 - location. Quote is for &1185.00. UPDATE - DONE

t. Heidi Glenn - would like an Ann Magnolia - planted on King St. side. On our planting schedule for the fall. Can use VOUCHER.

u. First Energy - the TC has received the list of participating nurseries and the list of acceptable trees for under their wires. We have also received the vouchers to use for trees we pick out. Lori and James will meet and look for areas that we can plant trees. We can use the vouchers for Deb Tucker's tree, Harvey's tree, and Heidi Glenn's tree. Can use it for the replacement tree in front of Green Pineapple as well. First Energy mentioned that they have other programs we might be interested in, but Lori hasn't received an email regarding them yet. **Lori to put out an announcement regarding the two trees on German coming down. - KEEP ON .**

## **7. New Business:**

- a. Rumsey tree that was moved -dead. Need to replace. - Can use VOUCHER
- b. Judy and Bryan Robertson - 200 W. Washington St needs dead limbs removed, fell over phone lines during recent storm - Bartlett to do soon.
- c. Ashleigh Sanders - 202 E. German St. - wants poison ivy removed from ground and trim trimmed - vines cut off. - James to take a look.
- d. Town Hall - limb up silk Lilac tree - Bartlett

## **8. Maintenance/Misc. - Fall 2023 -**

\* Next meeting September 14, 2023 - 6pm

## **9. Adjournment:**

**J. Haynes – move to adjourn at 6:41 p.m. Second by J. Dillon. No objections noted.**

**Minutes respectfully submitted by L. Robertson**

LEGAL NOTICE

Shepherdstown Board of Appeals

Re: Mickey Duncan

PT LT 195, West High Street, Shepherdstown, WV 25443

Please take notice that the Shepherdstown Board of Appeals will hold a Hearing on September 19, 2023 at Town Hall, 104 North King Street, Shepherdstown, West Virginia 25443 at 6:00 p.m. to determine the appeal by : Mickey Duncan to consider a variance to Section 9-508, specifically the requirements for minimum buildable lot area, lot width and side yard setbacks for the purposes to construct a single-family residence. The Shepherdstown Planning Commission considered the request on July 17, 2023 and provided their findings in its Notice of Decision dated July 20 ,2023. It is from finding #6, finding #7 and finding #8 that states the requirements of Code Section 9-508 that the appellant seeks relief.

For the Board of Appeals

Dawn M. Fye, Chair